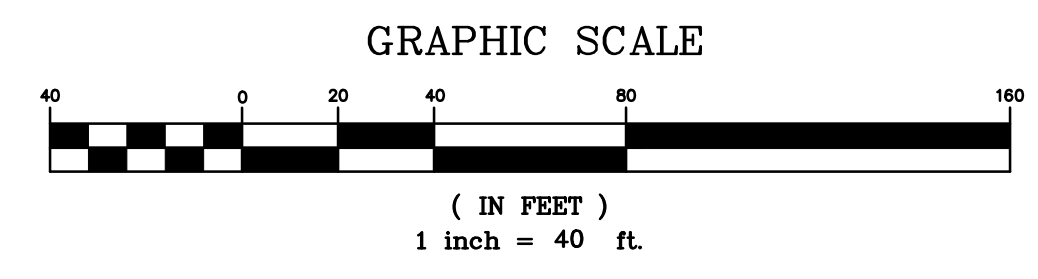


BULK REQUIREMENTS
RB- ZONE
BULK REQUIREMENTS

	MINIMUM	MAXIMUM
LOT AREA, NET (S.F.)	10,000	
LOT AREA, GROSS (S.F.)	12,000	
FRONTAGE (FT.)	60*	
FRONT YARD (FT.)	40**	
REAR YARD (FT.)	40	
SIDE YARD (FT.)	15	
BUILDING COVERAGE (%)		50
BUILDING HEIGHT (STORIES)		2

*MINIMUM FRONTAGE ON CURVED LOTS SHALL BE MEASURED AT THE FRONT SETBACK LINE
**MINIMUM FRONT YARD SHALL BE 40 FEET AS MEASURED FROM THE EDGE OF PAVEMENT.

GENERAL NOTES:
 1. VILLAGE OF SOUTH BLOOMING GROVE TAX MAP DESIGNATION: SEC. 220, BLK. 1, LOTS 3, 24, & 28
 2. TOTAL AREA OF PARCELS PER TAX MAPS: 6.66 AC.
 3. TOTAL PROPOSED NUMBER OF SINGLE FAMILY LOTS: 17
 4. PARCELS ARE LOCATED IN THE RR ZONING DISTRICT.
 5. BOUNDARY AND TOPOGRAPHY INFORMATION SHOWN TAKEN FROM A MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY OF THE LANDS OF 7 TIMOTHY LLC" AUTOMATED CONSTRUCTION ENHANCED SOLUTIONS, INC. PROFESSIONAL LAND SURVEYING 1229 ROUTE 300 SUITE 4, NEWBURGH, NY 12550. AS PREPARED BY ONATHAN N. MILLEN, L.L.S. DATED 11-26-2022
 6. DUE TO POTENTIAL HAZARD FOR THE INDIANA BAT, TREE CUTTING SHALL BE LIMITED TO NOV. 1ST THROUGH MARCH 31ST.



PROPOSED LOT TABLE

LOT #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17
PROVIDED LOT AREA (S.F.)	15,578±	12,368±	13,273	13,800±	14,374±	11,995±	12,094±	11,660±	10,452±	11,203±	12,248±	11,911±	12,006±	13,770±	15,949±	18,079±	14,077±
PROVIDED FRONTAGE (FT.)	134±	91±	98±	108±	87±	78±	80±	80±	81±	86±	85±	104±	112±	67±	67±	87±	87±
PROVIDED DEPTH (FT.)	118±	147±	156±	144±	150±	141±	144±	132±	131±	134±	138±	141±	132±	142±	151±	193±	130±

LEGEND

EXISTING PROPERTY LINE	—————
PROPOSED PROPERTY LINE	—————
EXISTING 2' CONTOUR LINE	—————
EXISTING 10' CONTOUR LINE	—————
BUILDING SETBACK LINE	—————
EXISTING EDGE OF PAVEMENT	—————
PROPOSED WALK	—————
PROPOSED CONC. CURB	—————
PROPOSED EASEMENT	—————

RECORD APPLICANT
 POSITIVE DEVELOPERS
 C/O ARON RAUCH
 580 RTE 208
 MONROE, NY

RECORD OWNERS
 7 TIMOTHY LLC,
 505 FLUSHING
 AVE STE 1D
 BROOKLYN NY 11205
 SDYV LLC
 2 SKILLMAN ST
 UNIT 413
 BROOKLYN NY 11205

DATE	REVISIONS	DATE
04-18-23	REV. PER COMMENTS	
03-06-23	INITIAL PREPARATION	

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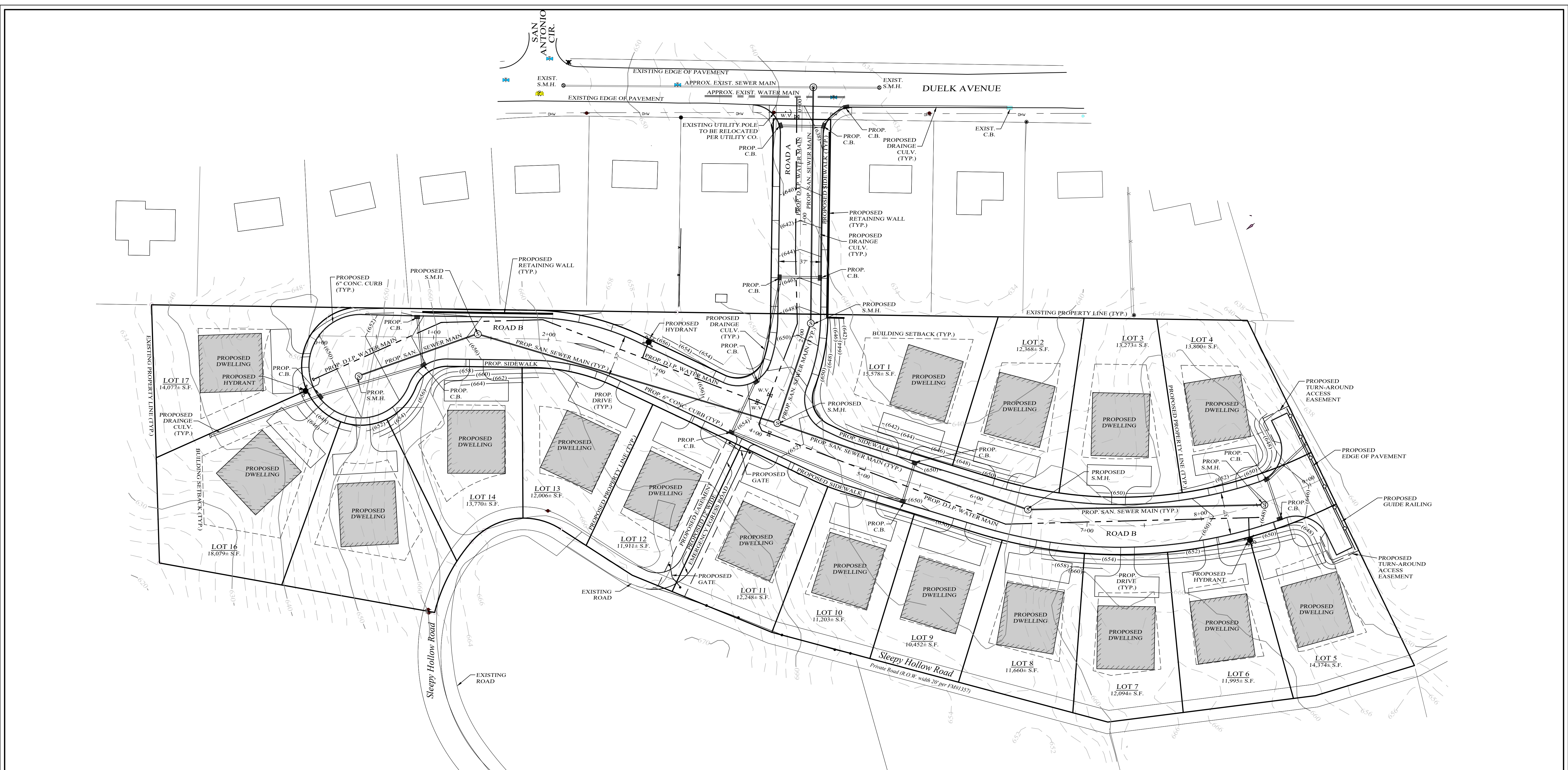
D.O.T. SHEET #	D.E.C. SHEET #	C.C.H.D. SHEET #	SHEET #
N.A.	N.A.	N.A.	1 OF 4

TREZA SUBDIVISION
 VILLAGE OF SOUTH BLOOMING GROVE, ORANGE COUNTY, NEW YORK
 PROJECT TITLE

SUBDIVISION PLAN
 DRAWING TITLE

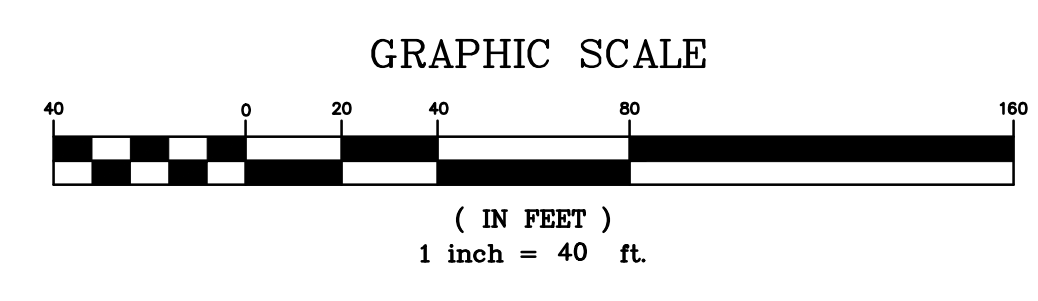
KIRK ROTHER, P.E.
 CONSULTING ENGINEER, PLLC
 5 Saint Stephens Lane, Warwick, NY 10990
 (845) 948-0620

KIRK ROTHER, P.E. NY S. D.C. NO. 079653



LEGEND

EXISTING PROPERTY LINE	---
EXISTING 2' CONTOUR LINE	-----
EXISTING 10' CONTOUR LINE	-----
BUILDING SETBACK LINE	-----
EXISTING EDGE OF PAVEMENT	-----
PROPOSED WALK	-----
PROPOSED CONC. CURB	-----
PROPOSED EASEMENT	-----



TREZA SUBDIVISION
VILLAGE OF SOUTH BLOOMING GROVE, ORANGE COUNTY, NEW YORK
PROJECT TITLE

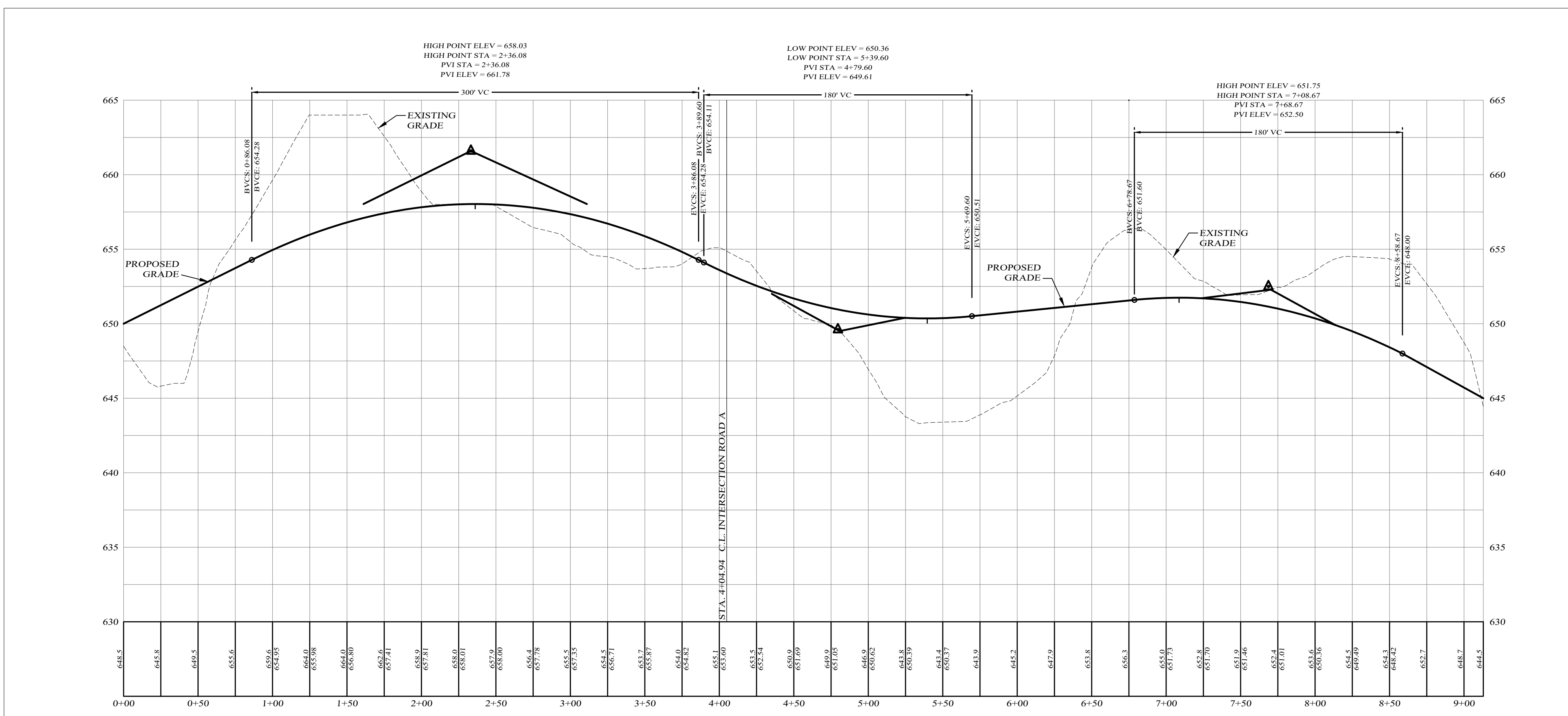
SUBDIVISION PLAN
DRAWING TITLE

KIRK ROTHER, P.E.
CONSULTING ENGINEER, PLLC
5 Saint Stephens Lane, Warwick, NY 10990
(845) 988-0620

DATE	REVISIONS	KIRK ROTHER, P.E.	N.Y.S. LIC. NO. 079053	DATE
04-18-23	REV. PER COMMENTS			
03-06-23	INITIAL PREPARATION			

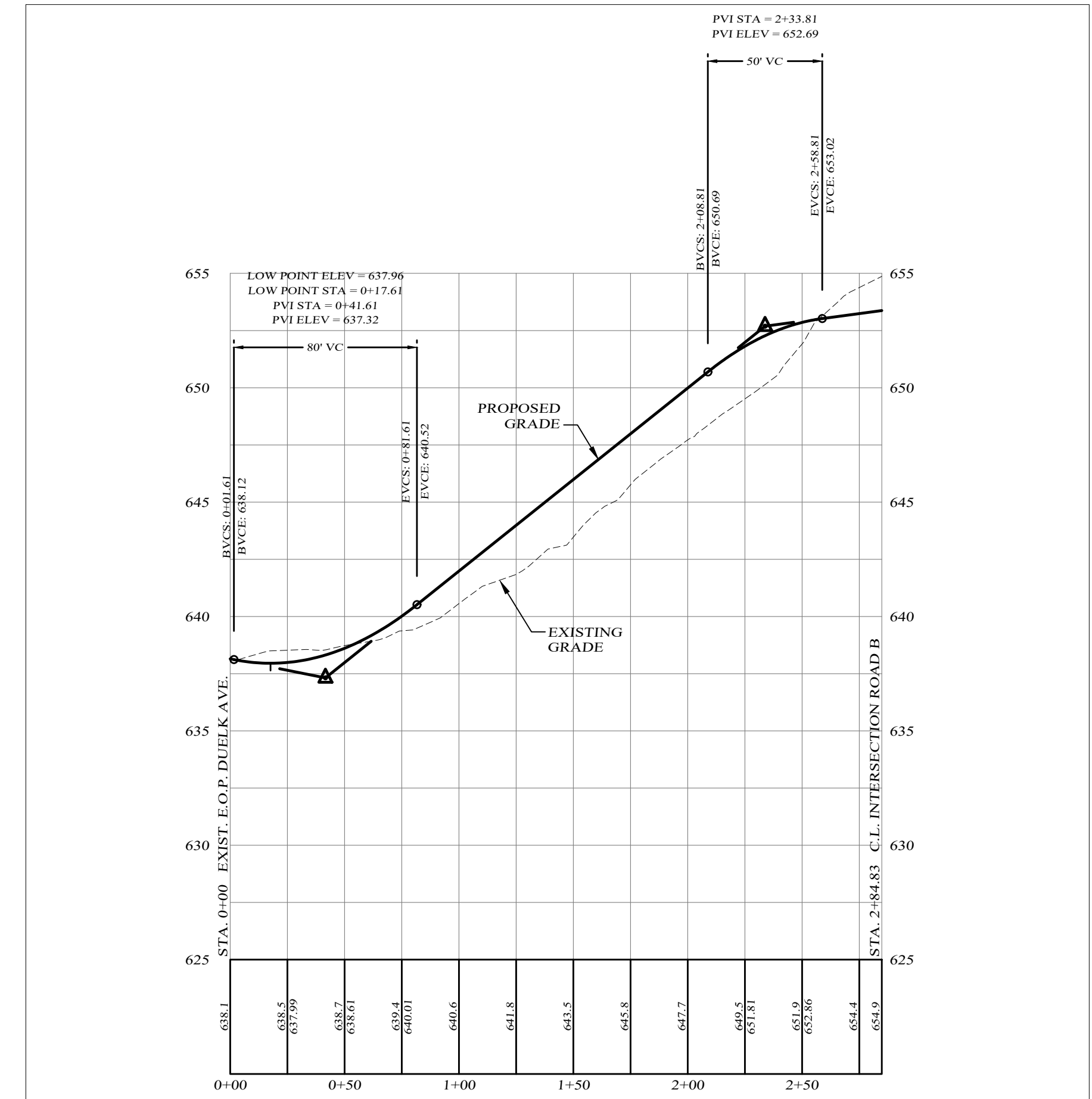
D.O.T. SHEET #	D.E.C. SHEET #	O.C.H.D. SHEET #	SHEET #
N.A.	N.A.	N.A.	2 OF 4
CAD # 23103	PROJECT #	SCALE	
SKETCH	23103.0	AS SHOWN	

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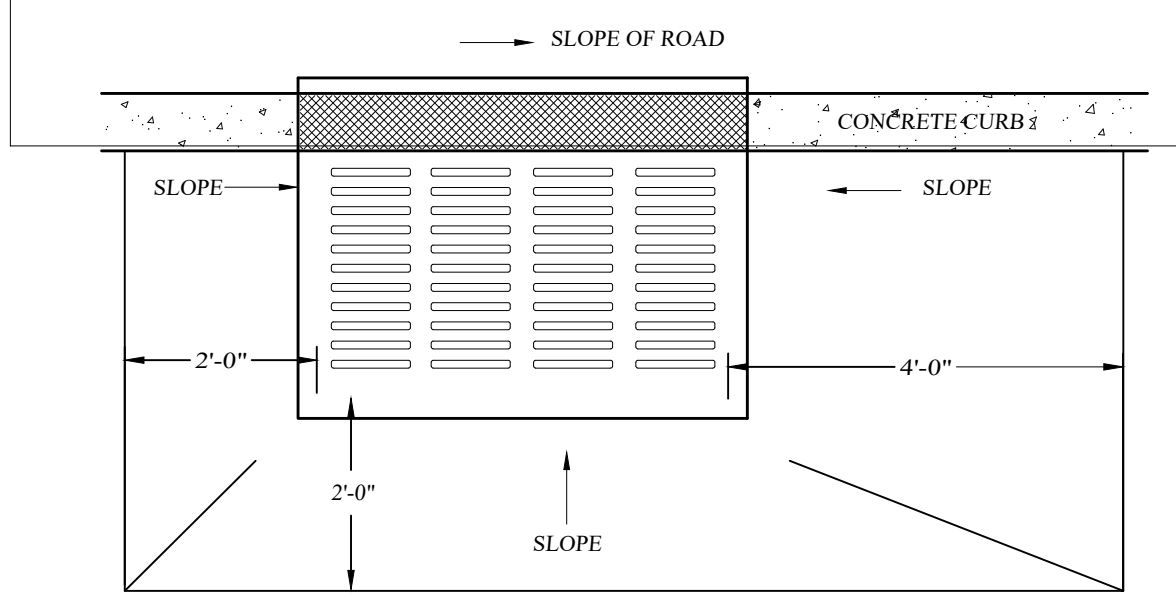
ROAD B PROFILE

SCALES:
HOR: 1" = 50'
VER: 1" = 5'

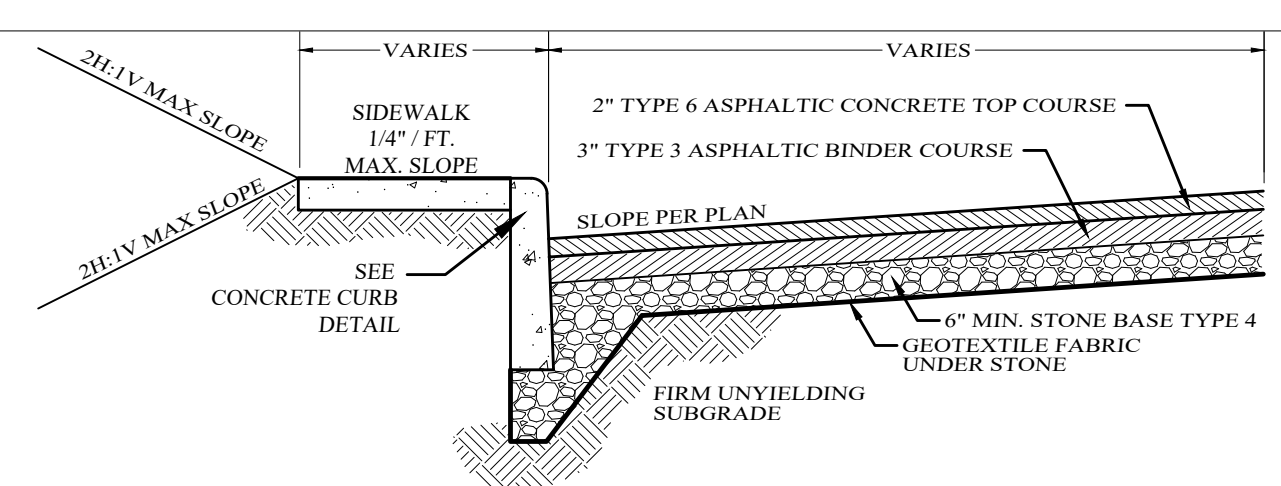


ROAD A PROFILE

SCALES:
HOR: 1" = 50'
VER: 1" = 5'

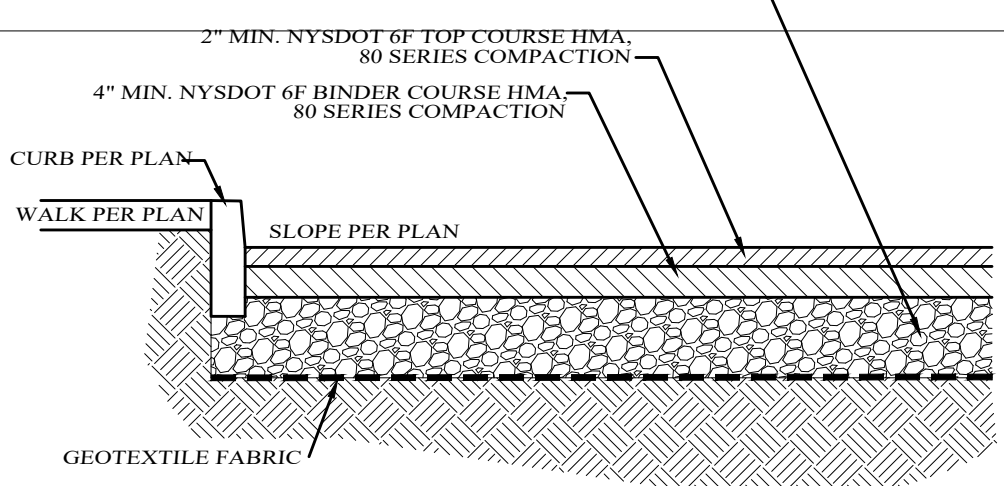


PLAN



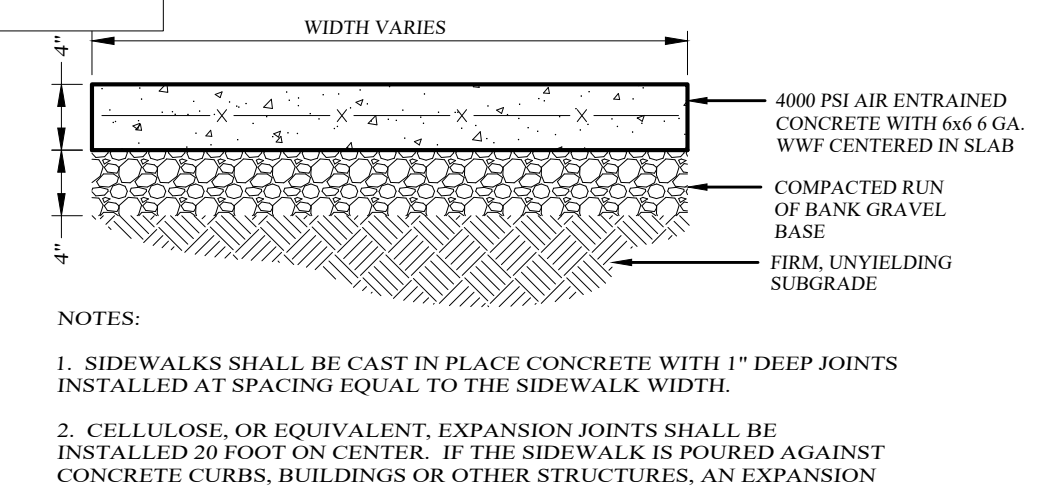
**TYPICAL PAVEMENT SECTION
PARKING LOTS & DRIVEWAYS**

NOT TO SCALE



**TYPICAL PAVEMENT SECTION
WITHIN VILLAGE ROAD**

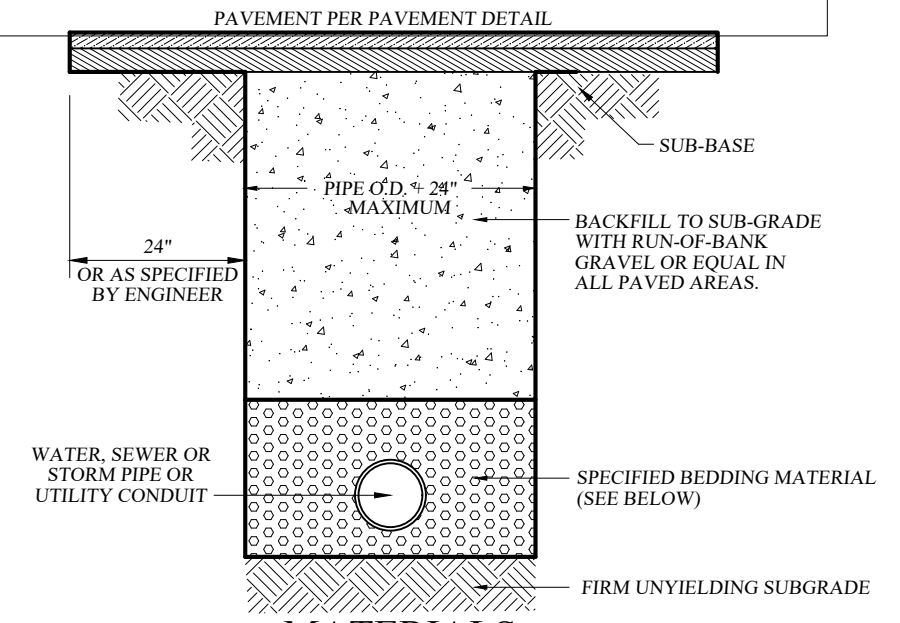
NOT TO SCALE



CONCRETE SIDEWALK DETAIL

NOT TO SCALE

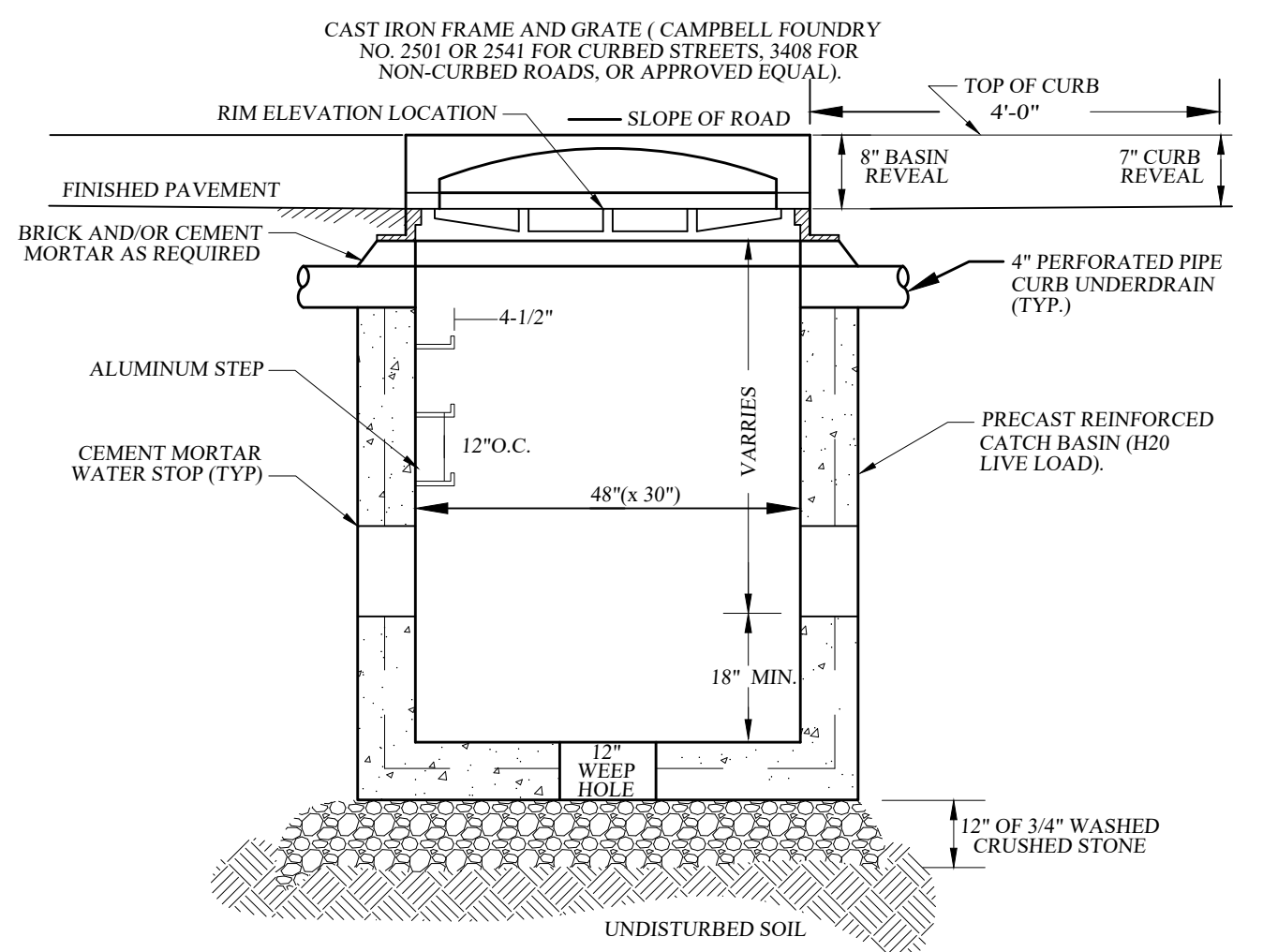
- NOTES:
- SIDEWALKS SHALL BE CAST IN PLACE CONCRETE WITH 1" DEEP JOINTS INSTALLED AT SPACING EQUAL TO THE SIDEWALK WIDTH.
 - CELLULOSE, OR EQUIVALENT, EXPANSION JOINTS SHALL BE INSTALLED 20 FEET ON CENTER. IF THE SIDEWALK IS POURED AGAINST CONCRETE CURBS, BUILDINGS OR OTHER STRUCTURES, AN EXPANSION JOINT SHALL BE INSTALLED ALONG THE ENTIRE LENGTH OF CONTACT. SIDEWALKS SHALL SLOPE AWAY FROM BUILDINGS TO PROVIDE POSITIVE DRAINAGE AND CONFORM TO THE LATEST REVISION OF ALL APPLICABLE REGULATORY STANDARDS INCLUDING THE AMERICANS WITH DISABILITIES ACT.
 - MIX DESIGN SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE GUIDELINES FOR CONCRETE EXPOSED TO FREEZING, THAWING AND DE-ICING CHEMICALS. CONCRETE SHALL HAVE A WATER-CEMENTITIOUS RATIO OF 0.45 AND AIR ENTRAINMENT OF 4 1/2% FOR A 1" NOMINAL AGGREGATE SIZE. CONCRETE TO TEST 4000 PSI AT 28 DAYS.
 - SIDEWALK SURFACE TO BE A BROOM FINISH WITH GROOVES RUNNING PERPENDICULAR TO THE LENGTH OF SIDEWALK.



**PIPE BEDDING AND BACKFILL
DETAIL**

NOT TO SCALE

- PIPE ZONE BEDDING MATERIAL:
- WATER MAINS: SAND OR RUN-OF-BANK GRAVEL, AS APPROVED BY SOILS ENGINEER.
 - WATER MAINS: ON-SITE MATERIAL FREE OF STONE, CLAY FOREIGN MATERIAL OR FROZEN EARTH AS APPROVED BY SOILS ENGINEER.

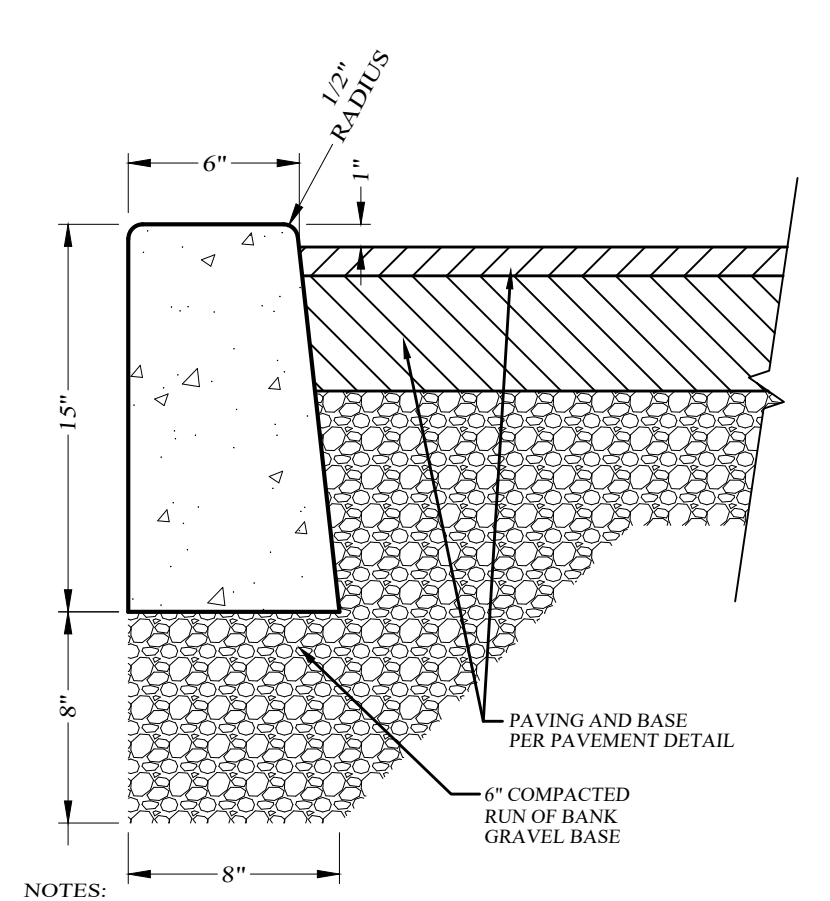


FRONT ELEVATION

- NOTES:
- BACKFILL AROUND CATCH BASIN TO BE COMPACTED IN MAX. 8" LIFTS.
 - THE ENDS OF ALL PIPES SHALL BE CUT OFF FLUSH WITH THE INSIDE SURFACE OF CATCH BASIN AND ADEQUATELY MORTARED.
 - PRECAST CONCRETE TO BE 4000 PSI @ 28 DAYS

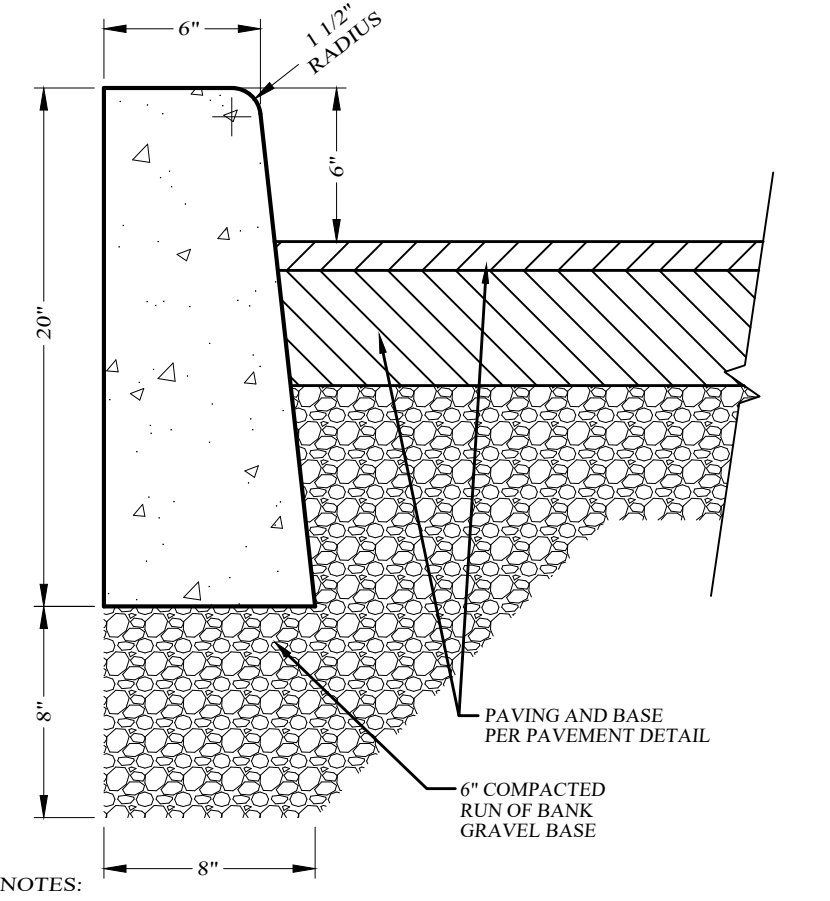
PRECAST CONCRETE CURB INLET DETAIL

NOT TO SCALE



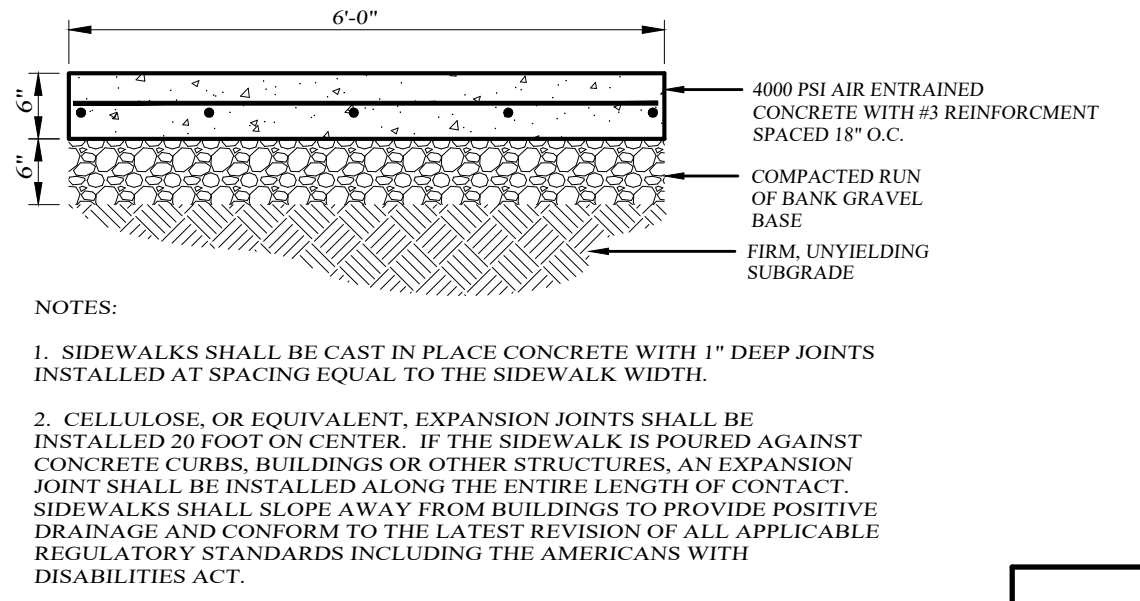
CONCRETE DROP CURB DETAIL

NOT TO SCALE



**CONCRETE CURB DETAIL
(WITHIN SITE)**

NOT TO SCALE



**CONCRETE SIDEWALK AT
PARKING LOT ENTRANCE DETAIL**

NOT TO SCALE

- NOTES:
- SIDEWALKS SHALL BE CAST IN PLACE CONCRETE WITH 1" DEEP JOINTS INSTALLED AT SPACING EQUAL TO THE SIDEWALK WIDTH.
 - CELLULOSE, OR EQUIVALENT, EXPANSION JOINTS SHALL BE INSTALLED 20 FEET ON CENTER. IF THE SIDEWALK IS POURED AGAINST CONCRETE CURBS, BUILDINGS OR OTHER STRUCTURES, AN EXPANSION JOINT SHALL BE INSTALLED ALONG THE ENTIRE LENGTH OF CONTACT. SIDEWALKS SHALL SLOPE AWAY FROM BUILDINGS TO PROVIDE POSITIVE DRAINAGE AND CONFORM TO THE LATEST REVISION OF ALL APPLICABLE REGULATORY STANDARDS INCLUDING THE AMERICANS WITH DISABILITIES ACT.
 - MIX DESIGN SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE GUIDELINES FOR CONCRETE EXPOSED TO FREEZING, THAWING AND DE-ICING CHEMICALS. CONCRETE SHALL HAVE A WATER-CEMENTITIOUS RATIO OF 0.45 AND AIR ENTRAINMENT OF 4 1/2% FOR A 1" NOMINAL AGGREGATE SIZE. CONCRETE TO TEST 4000 PSI AT 28 DAYS.
 - SIDEWALK SURFACE TO BE A BROOM FINISH WITH GROOVES RUNNING PERPENDICULAR TO THE LENGTH OF SIDEWALK.

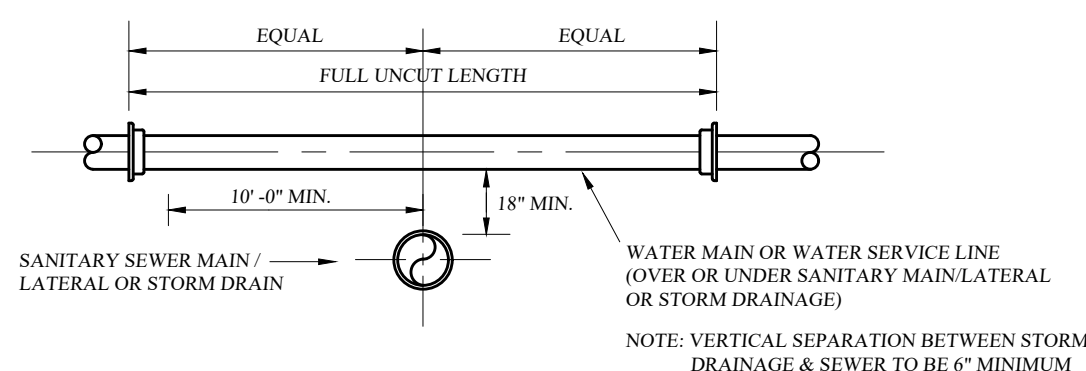
TREZA SUBDIVISION

VILLAGE OF SOUTH BLOOMING GROVE, ORANGE COUNTY, NEW YORK

**ROAD PROFILES
& DETAILS**

KIRK ROTHER, P.E.
CONSULTING ENGINEER, PLLC
5 Saint Stephens Lane, Warwick, NY 10990
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DATE	REVISIONS	KIRK ROTHER, P.E.	N.Y.S. LIC. NO. 079053	DATE
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D.O.T. SHEET #	D.E.C. SHEET #	O.C.H.D. SHEET #	SHEET #	
N.A.	N.A.	N.A.	3 OF 4	
CAD #	PROJECT #	SCALE		
SKETCH	23103.0	AS SHOWN		



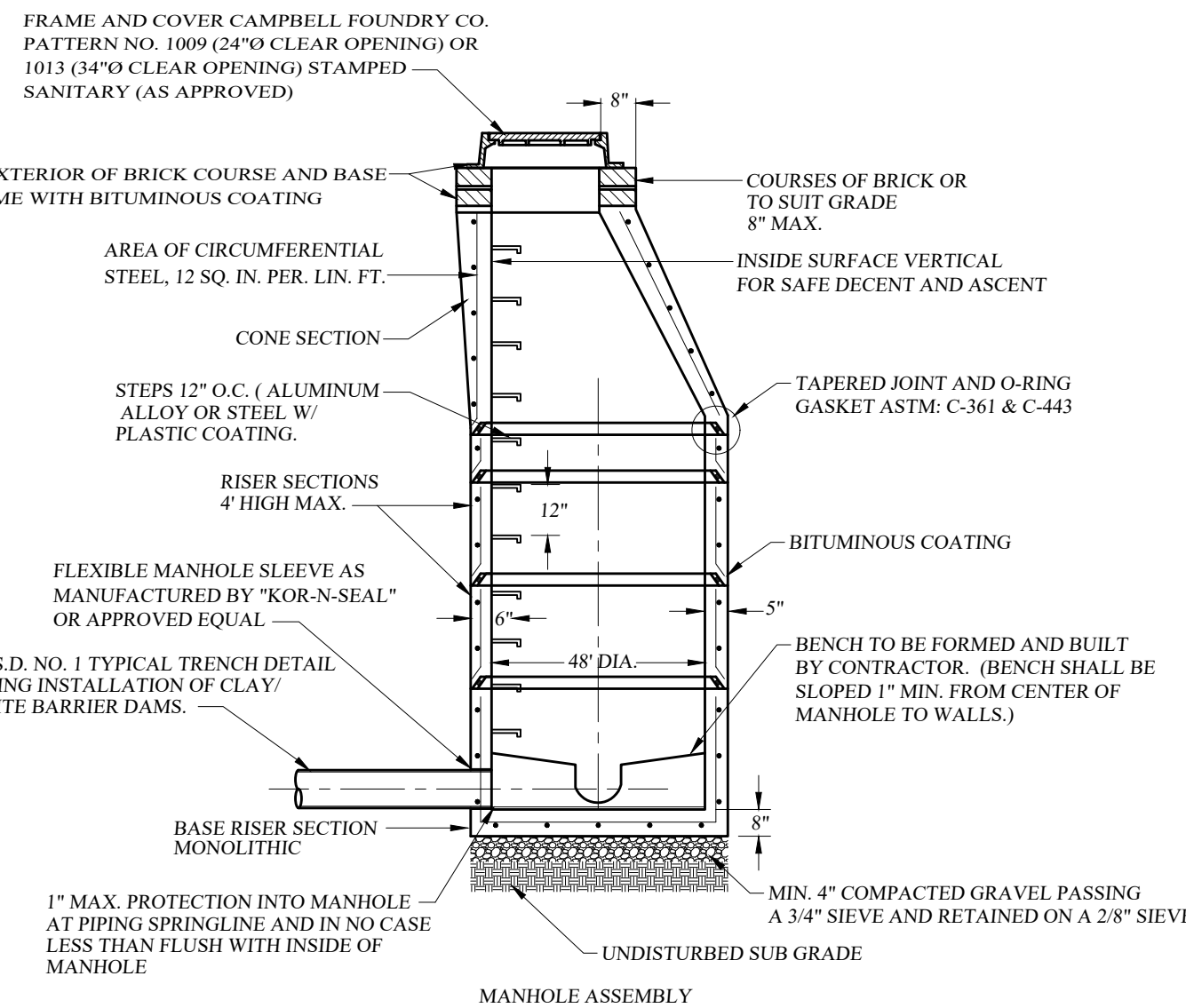
VERTICAL SEPARATION DETAIL
NOT TO SCALE



HORIZONTAL SEPARATION DETAIL
NOT TO SCALE

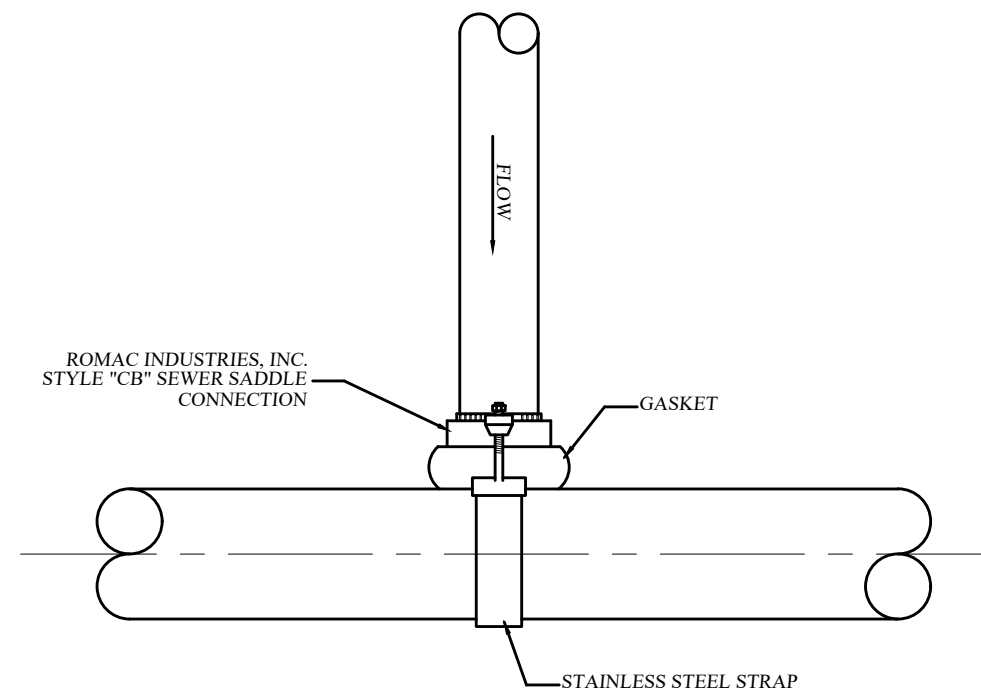
NOTE: THE SEPARATION REQUIREMENT SHALL CONFORM TO CURRENT ORANGE COUNTY DEPARTMENT OF HEALTH STATUTES, CODES, RULES, REGULATIONS AND LAWS AS THEY APPLY. ANY DEVIATION FROM THE ABOVE SEPARATION REQUIREMENTS SHALL REQUIRE WRITTEN APPROVAL FROM THE ORANGE COUNTY DEPARTMENT OF HEALTH.

WATER/SEWER SEPARATION REQUIREMENTS
NOT TO SCALE



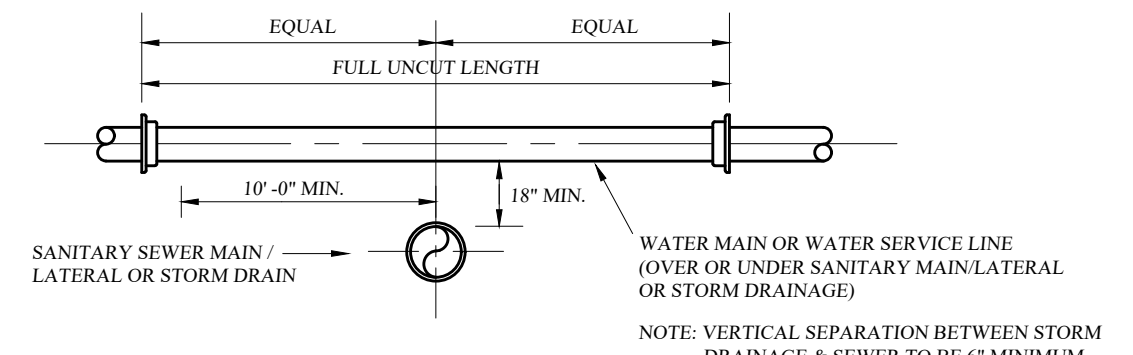
PRECAST REINFORCED CONCRETE MANHOLE
NOT TO SCALE

- MANHOLE TO MEET CURRENT REQUIREMENTS OF ASTM C-478
- JOINTS: LOCK TYPE WITH ROUND RUBBER GASKETS. THE WEIGHT OF EACH SECTION MUST MAKE AN INFILTRATION PROOF JOINT BY FORCING THE GASKET TIGHT.
- ALL MATERIALS AND CONSTRUCTION SHALL MEET THE REQUIREMENTS OF O.C.S.D. NO. 1
- MANHOLE TO BE SUITABLE FOR H-20 LOADING.
- MANHOLE EXTERIOR MUST BE 100% BITUMINOUS COATING.

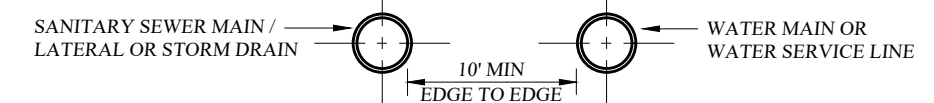


- NOTES:
1. ALL APPROVED BUILDING SEWER PIPE MATERIAL FOR EACH CONNECTION MADE SHALL BE CONSTRUCTED FROM THE SAME MATERIAL.
 2. SADDLE CONNECTION TO BE STYLE 'CB' SEWER SADDLE AS MANUFACTURED BY ROMAC INDUSTRIES, INC. OR APPROVED EQUAL.
 3. REFER TO DETAIL SPECIFICATIONS FOR STYLE 'CB' SEWER SADDLE AS PROVIDED BY ROMAC INDUSTRIES, INC. FOR INSTALLATION GUIDELINES.
 4. INSTALLATION AND MATERIALS OF THE SADDLE CONNECTION TO CONFORM WITH O.C.S.D. NO. 1 CRITERIA. THERE WILL BE NO DEVIATION FROM THE APPROVED PLAN WITHOUT WRITTEN APPROVAL FROM THE SEWER DEPARTMENT.

SADDLE CONNECTION DETAIL
NOT TO SCALE



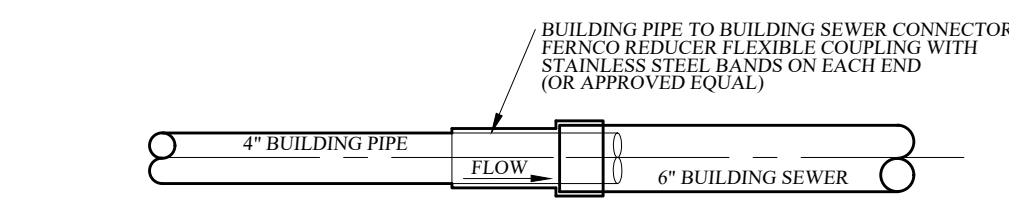
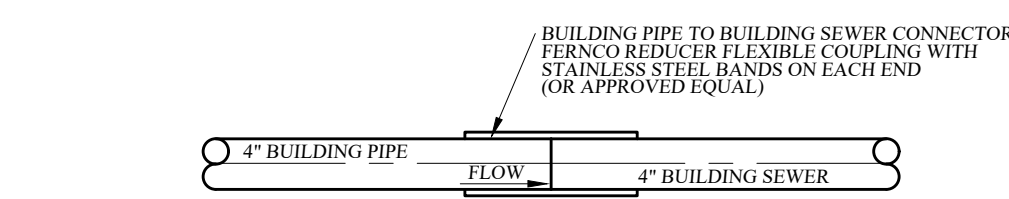
VERTICAL SEPARATION DETAIL
NOT TO SCALE



HORIZONTAL SEPARATION DETAIL
NOT TO SCALE

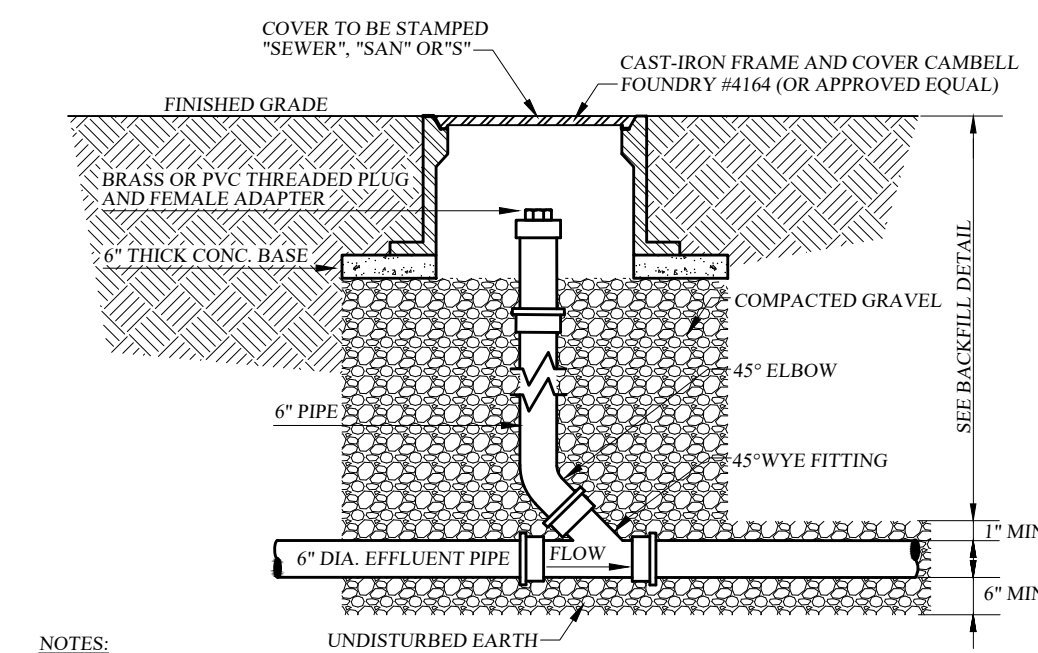
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WATER/SEWER SEPARATION REQUIREMENTS
NOT TO SCALE



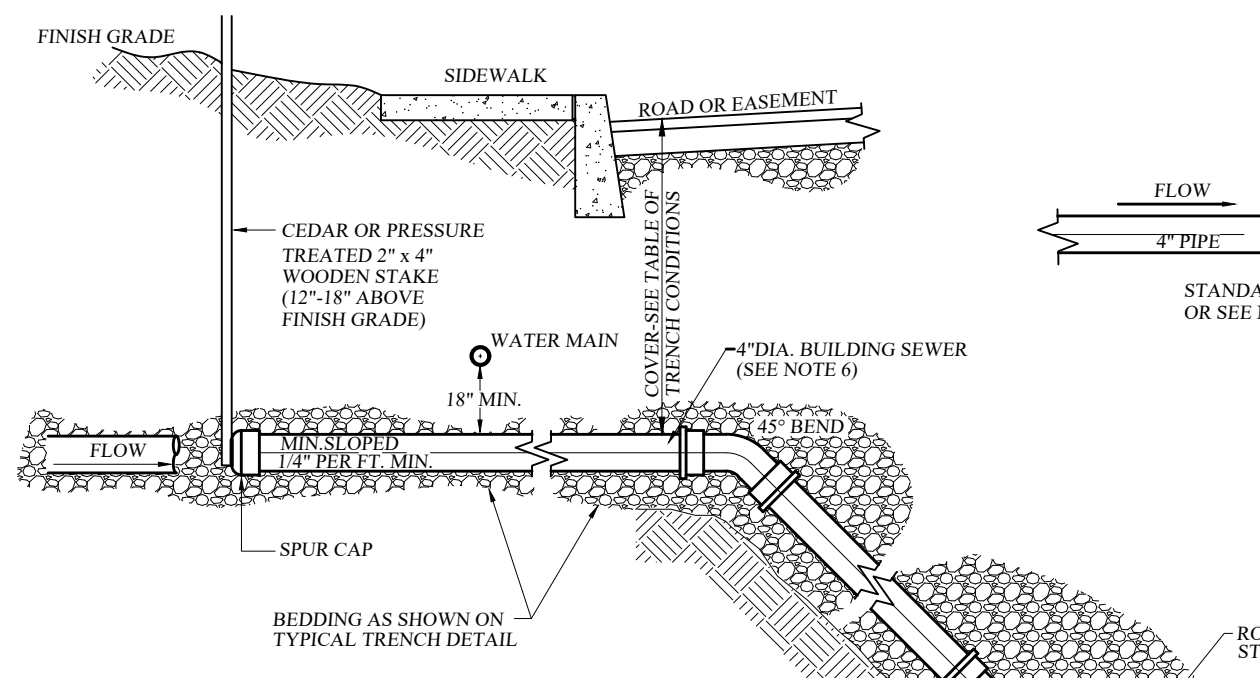
- NOTES:
1. 4" BUILDING PIPE TO STUB APPROXIMATELY 6" INTO 6" BUILDING SEWER.
 2. EACH 4" BUILDING SEWER MAY BE APPROVED FOR CONSTRUCTION OF SINGLE (1) AND TWO (2) FAMILY DWELLINGS ONLY.
 3. EACH 6" BUILDING SEWER SHALL BE REQUIRED FOR ALL COMMERCIAL USES AND SERVE NO MORE THAN TWELVE (12) EQUIVALENT LIVING UNITS, AS DETERMINED BY O.C.S.D. UNLESS A REQUESTED DEVIATION IS APPROVED IN WRITING BY O.C.S.D. NO. 1.
 4. BUILDING PIPE SHALL NOT EXCEED MORE THAN 10' FROM EXTERIOR OF BUILDING FOUNDATION.
 5. 6" BUILDING PIPE TO 6" BUILDING SEWER SHALL BE MADE BY INSTALLING A TYPE 1, STYLE 62 DRESSER COUPLING OR DRESSER STYLE 262 HYRAX COUPLING (OR APPROVED EQUAL).

BUILDING PIPE TO BUILDING SEWER CONNECTION
NOT TO SCALE



- NOTES:
1. EACH BUILDING SEWER SHALL HAVE A CLEANOUT INSTALLED APPROXIMATELY 7' DOWNSTREAM OF THE BUILDING PIPE TO BUILDING SEWER CONNECTION. THEREAFTER, CLEANOUTS SHALL BE INSTALLED ALONG THE BUILDING SEWER APPROXIMATELY EVERY 100' MAXIMUM, FOR THE PURPOSE OF CLEANOUT LOCATIONS. DISTANCE SHALL BE MEASURED FROM THE FIRST CLEANOUT LOCATED DOWNSTREAM OF THE HOUSE PIPE TO BUILDING SEWER CONNECTION, HENCE DOWNSTREAM ALONG THE BUILDING SEWER TO THE CENTER OF THE SEWER MAIN LINE (GENERALLY LOCATED IN THE CENTER OF THE STREET).
 2. A CLEANOUT LOCATED IN A ROAD, DRIVEWAY OR PARKING AREA SHALL REQUIRE A CAMPBELL FOUNDRY #4164 CAST IRON FRAME AND COVER (OR APPROVED EQUAL).

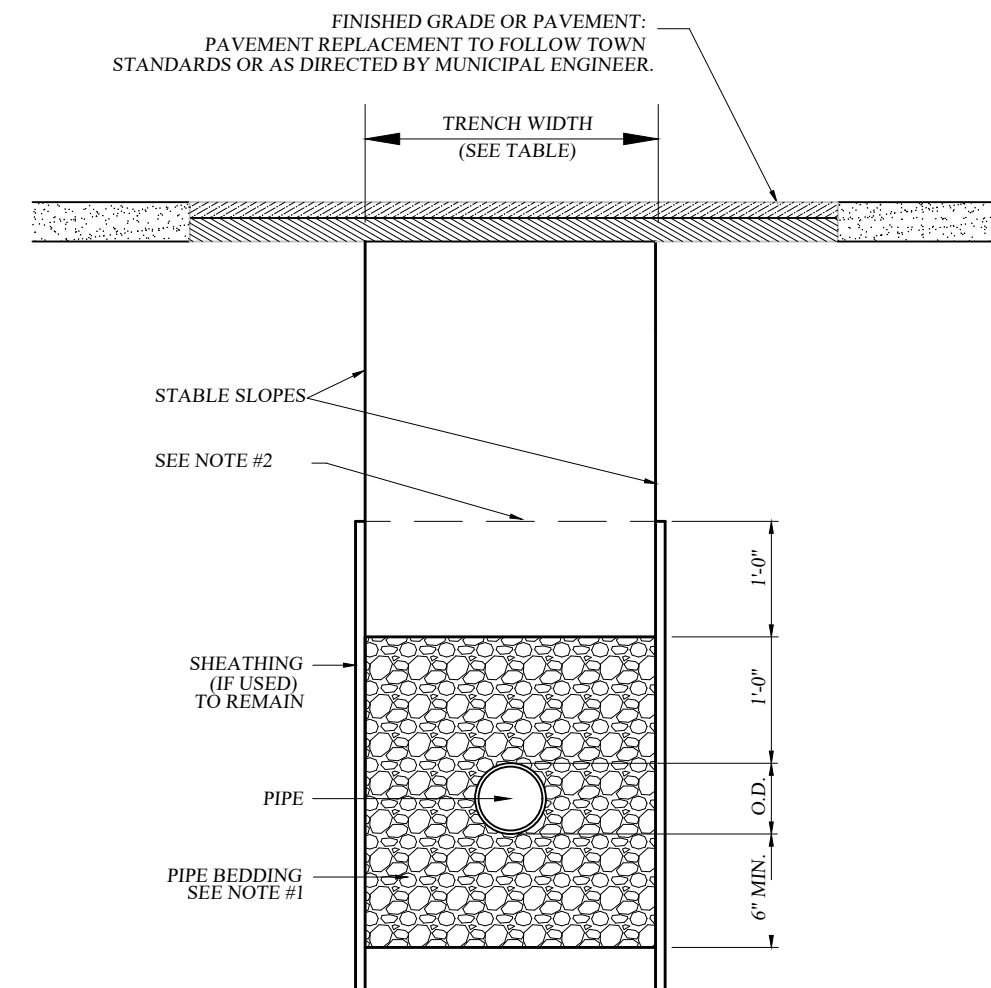
BUILDING SEWER CLEAN-OUT DETAIL
NOT TO SCALE



PLAN

SANITARY SEWER SPECIFICATIONS (FOR BUILDING SEWERS AND SEWER MAIN LINE)

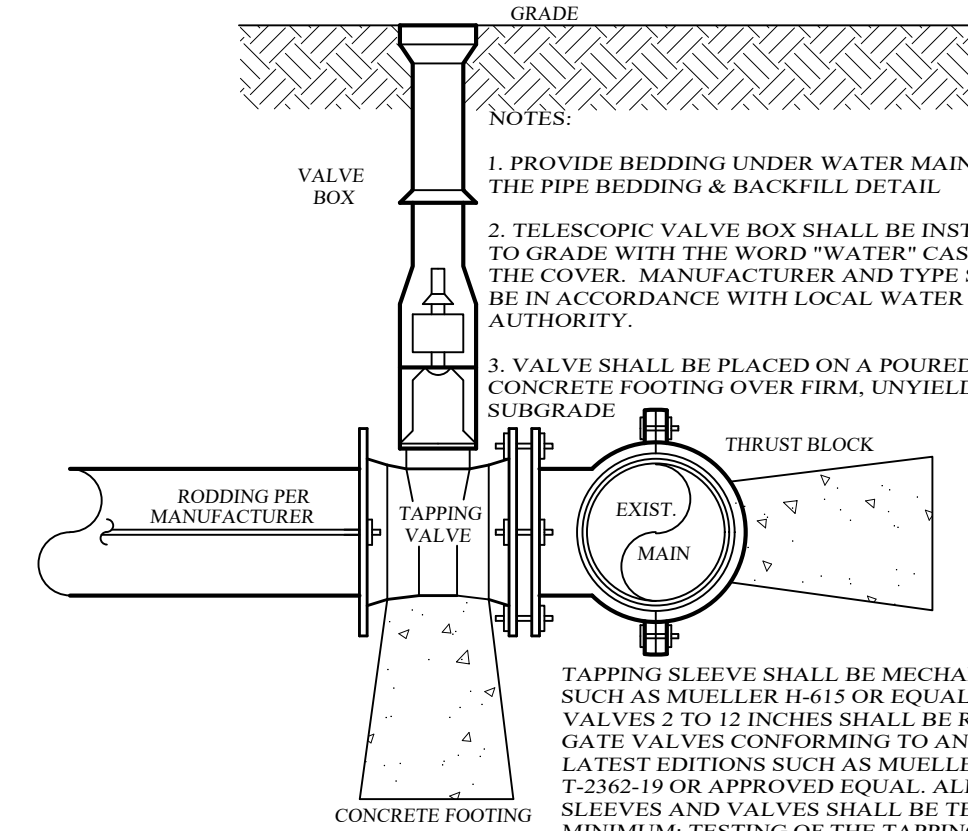
- REQUIRED MAIN LINE SEWER (OR APPROVED EQUAL):
 - ABS-TRUSS PIPE.
 - PIPE: STAMPED ASTM D2680.
 - FITTINGS: STAMPED ASTM D2680.
 - JOINTS: SOLVENT WELD, ASTM D2235.
- PVC-TRUSS PIPE:
 - PIPE: STAMPED ASTM D2680.
 - FITTINGS: STAMPED ASTM D2680.
 - JOINTS: SOLVENT WELD, ASTM D2564 OR ELASTOMERIC (GASKET).
- PVC - SDR 26 HEAVY WALL PIPE:
 - PIPE (8"-15" DIAMETER): STAMPED ASTM 3034.
 - PIPE (18" AND GREATER DIAMETER): STAMPED ASTM F679.
 - FITTINGS: STAMPED ASTM 3034 OR F679.
 - JOINTS: SOLVENT WELD ASTM 2564 OR ELASTOMERIC (GASKET).
- PIPE (8"-15" DIAMETER): STAMPED ASTM D3034. PIPE (18" OR GREATER DIAMETER): STAMPED ASTM F769.
 - PVC - SDR 35 SOLID WALL PIPE.
 - JOINTS: BELL & SPIGOT WITH ELASTOMERIC GASKET ASTM D3034 OR SOLVENT WELD ASTM D2564.
- REQUIRED 6" BUILDING LATERAL SEWER (OR APPROVED EQUAL):
 - PVC - SDR 35 SOLID WALL PIPE.
 - PIPE STAMPED ASTM D3034 AND SDR 35.
 - FITTINGS: STAMPED SDR 35 AND ASTM 3034.
 - JOINTS: BELL & SPIGOT WITH ELASTOMERIC GASKET ASTM D3034 OR SOLVENT WELD ASTM D2564.
- PVC - SDR 26 HEAVY WALL PIPE:
 - PIPE STAMPED ASTM D3034 AND SDR 26.
 - FITTINGS: STAMPED D3034 AND SDR 26.
 - JOINTS: BELL & SPIGOT WITH ELASTOMERIC GASKET ASTM D3034 OR SOLVENT WELD ASTM D2564.
- PVC - SDR 23.5 ABS SOLID WALL PIPE:
 - PIPE STAMPED ASTM D2751 AND SDR 23.5.
 - FITTINGS: STAMPED SDR 23.5 AND ASTM D2751.
 - JOINTS: SOLVENT WELD ASTM D2564.
- OTHER REQUIRED PIPE MATERIALS FOR 6" LATERAL AND SEWER MAIN LINE (OR APPROVED EQUAL):
 - CAST IRON, EXTRA HEAVY, COATED, HUB & PLAIN END, ASTM C-74 WITH ELASTOMERIC COMPRESSION GASKET (ASTM C-564).
 - DUCTILE IRON PIPE: CLASS 52, CEMENT LINED AND TAR COATED INSIDE AND OUT.



PIPE O.D.	TRENCH WIDTH
24" AND SMALLER	O.D. + 1'-4"
30" AND LARGER	O.D. + 2'-0"

TYPICAL TRENCH DETAIL (SANITARY SEWER)
NOT TO SCALE

- Notes:
1. PIPE BEDDING SHALL BE A CLASS 1 ASTM D2321 EMBEDMENT MATERIAL THAT SHALL BE EITHER CRUSHED STONE OR WASHED GRAVEL PASSING A 3/4" SIEVE AND RETAINED ON A 3/8" SIEVE. THE EMBEDMENT MATERIAL SHALL BE HAND TAMPED AND COMPACTED TO 90% OF THE MAXIMUM DENSITY OF THE EMBEDMENT MATERIAL AS DETERMINED BY STANDARD PROCTOR TEST IN ACCORDANCE WITH AASHTO DESIGNATION T-99. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A GO-NO-GO TESTING GAUGE, AS DEFINED IN THE GREEN-TITE (TRADEMARK) PVC GRAVITY SEWER PIPE INSTALLATION GUIDE AS PUBLISHED BY JAI PIPE. THE EMBEDMENT MATERIAL FOR TESTING DEFLECTION OF MAIN LINE SEWER PIPE, AS DIRECTED BY O.C.S.D. MAXIMUM MAIN LINE SEWER DEFLECTION SHALL BE NO GREATER THAN 5%.
 2. BACKFILL FROM 12 IN. TO 24 IN. ABOVE THE PIPE EMBEDMENT MATERIAL SHALL BE FINE EARTH FREE FROM CINDERS AND SHALL BE MECHANICALLY COMPACTED. REMAINING BACKFILL SHALL BE FREE FROM LARGE CLODS, NATURAL DEBRIS, ROCKS, AND CINDERS.
 3. PLACE EMBEDMENT MATERIAL BY HAND AND HAND COMPACT UNDER AND AROUND SIDES OF PIPE. PLACE EMBEDMENT MATERIAL IN 6" LAYERS ABOVE TOP OF PIPE, AND HAND COMPACT TO A POINT 12 INCH MAXIMUM ABOVE THE TOP OF PIPE.
 4. THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A COMPETENT PERSON DURING ALL PHASES OF CONSTRUCTION WHOSE DUTY SHALL BE TO INSURE THAT ALL PHASES OF CONSTRUCTION ARE IN FULL COMPLIANCE WITH O.C.S.D. NO. 1 SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL STATUTES, CODES, RULES, REGULATIONS AND LAWS INCLUDING, BUT NOT LIMITED TO, UNITED STATES DEPARTMENT OF LABOR FOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION AND N.Y.S. DEPARTMENT OF LABOR FOR SECTION 190.146 PERMIT REQUIRED CONFINED SPACE ENTRY, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION SECTION 1926.650 EXCAVATION GENERAL PROTECTION REQUIREMENTS AND OSHA SECTION 1926.651 TRENCHING AND SHORING STATE OF NEW YORK UNIFORM FIRE PREVENTION AND BUILDING CODES AND NATIONAL FIRE PROTECTION ASSOCIATION CODES.
 5. ALL APPROVED MAIN LINE SEWER PIPE SHALL BE THE SAME MATERIAL FROM MAN-HOLE TO MAN-HOLE.
 6. FILL SECTION AREA MUST BE GRADED WITH THE PLACEMENT OF SUITABLE SOIL MATERIAL, AS DETERMINED BY THE PROJECT SITE ENGINEER. IN 12" (MAX) LAYERS COMPACT TO 95% OF THE MAXIMUM DENSITY OF THE SOIL AS DETERMINED BY THE STANDARD PROCTOR TEST (ASTM DESIGNATION T-99) TO 2'-0" (MIN) ABOVE TOP OF PIPE AT A MINIMUM WIDTH OF O.D. + 4" BEFORE TRENCH EXCAVATING.
 7. WHERE ROCK IS ENCOUNTERED IN TRENCH BOTTOM, UNDERCUT MUST BE MADE BETWEEN 12" MIN. TO 24" MAX.
 8. WHERE UNSUITABLE MATERIAL IS ENCOUNTERED IN TRENCH BOTTOM, UNDERCUT TO SUITABLE MATERIAL (AS APPROVED BY TOWN ENGINEER).



WATER MAIN TAPPING VALVE DETAIL
NOT TO SCALE

TREZA SUBDIVISION

VILLAGE OF SOUTH BLOOMING GROVE, ORANGE COUNTY, NEW YORK
PROJECT TITLE

SANITARY DETAILS

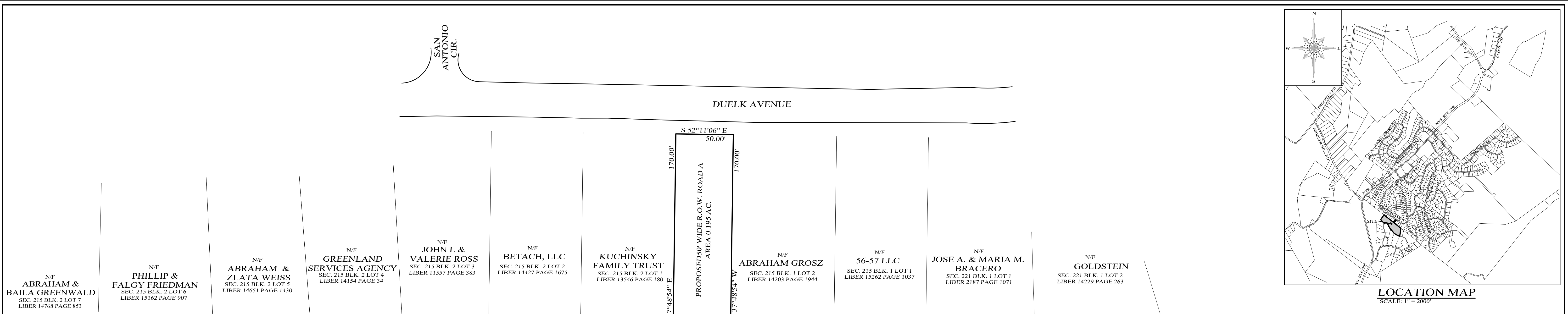
DRAWING TITLE

KIRK ROTHER, P.E.
CONSULTING ENGINEER, PLLC

5 Saint Stephens Lane, Warwick, NY 10990
(845) 988-0620

DATE	REVISIONS	KIRK ROTHER, P.E.	N.Y.S. LIC. NO. 079053	DATE
04-18-23	REV. PER COMMENTS			
03-06-23	INITIAL PREPARATION			
D.O.T. SHEET #	D.E.C. SHEET #	O.C.H.D. SHEET #	SHEET #	
N.A.	N.A.	N.A.	4 OF 4	
CAD # 23103	PROJECT #	SCALE		
SKETCH	23103.0	AS SHOWN		

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. REPRODUCTIONS OF THIS PLAN WHICH DO NOT BEAR THE ORIGINAL SEAL OF A LICENSED PROFESSIONAL ENGINEER SHALL BE CONSIDERED INVALID.

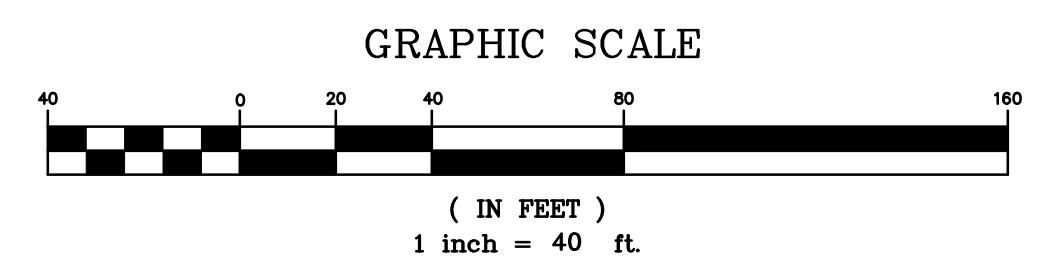


**BULK REQUIREMENTS
RB- ZONE**

BULK REQUIREMENTS	
LOT AREA, NET (S.F.)	MINIMUM 10,000
LOT AREA, GROSS (S.F.)	12,000
FRONTAGE (FT.)	60*
FRONT YARD (FT.)	40**
REAR YARD (FT.)	40
SIDE YARD (FT.)	15
BUILDING COVERAGE (%)	MAXIMUM 50
BUILDING HEIGHT (STORIES)	2

*MINIMUM FRONTAGE ON CURVED LOTS SHALL BE MEASURED AT THE FRONT SETBACK LINE
**MINIMUM FRONT YARD SHALL BE 40 FEET AS MEASURED FROM THE EDGE OF PAVEMENT.

GENERAL NOTES:
 1. VILLAGE OF SOUTH BLOOMING GROVE TAX MAP DESIGNATION: SEC. 220, BLK. 1, LOTS 3, 24, & 28
 2. TOTAL AREA OF PARCELS PER TAX MAPS: 6.66 AC.
 3. TOTAL PROPOSED NUMBER OF SINGLE FAMILY LOTS: 17
 4. PARCELS ARE LOCATED IN THE RR ZONING DISTRICT.
 5. BOUNDARY AND TOPOGRAPHY INFORMATION SHOWN TAKEN FROM A MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY OF THE LANDS OF 7 TIMOTHY LLC" AUTOMATED CONSTRUCTION ENHANCED SOLUTIONS, INC. PROFESSIONAL LAND SURVEYING 1229 ROUTE 300 SUITE 4, NEWBURGH, NY 12550. AS PREPARED BY NATHAN N. MILLEN, L.L.S. DATED 11-26-2022



N/F
VILLAGE OF KIRYAS JOEL & TOWN OF PALM TREE
 SEC. 220 BLK. 1 LOT 1
 LIBER 15148 PAGE 30

N/F
DEBBY DANE & EDWARD DANE (EST. OF)
 SEC. 220 BLK. 1 LOT 9
 LIBER 2075 PAGE 313

N/F
SLEEPY HOLLOW MTN RD CORP.
 SEC. 220 BLK. 1 LOT 10
 LIBER 13074 PAGE 504

N/F
LABIN & TESSLER
 SEC. 220 BLK. 1 LOT 12.1
 LIBER 15277 PAGE 1824

N/F
43 MOUNTAIN ROAD LL
 SEC. 220 BLK. 1 LOT 11
 LIBER 15194 PAGE 1272

LEGEND

EXISTING PROPERTY LINE	—————
PROPOSED PROPERTY LINE	—————
PROPOSED EASEMENT	- - - - -

RECORD APPLICANT
 POSITIVE DEVELOPERS
 C/O ARON RAUCH
 580 RTE 208
 MONROE, NY

RECORD OWNERS
 7 TIMOTHY LLC.
 505 FLUSHING AVE STE 1D
 BROOKLYN NY 11205
 SDYV LLC
 2 SKILLMAN ST UNIT 413
 BROOKLYN NY 11205

03-06-23 INITIAL PREPARATION	
DATE	REVISIONS

TREZA SUBDIVISION
 VILLAGE OF SOUTH BLOOMING GROVE, ORANGE COUNTY, NEW YORK
 PROJECT TITLE

SUBDIVISION PLAT
 DRAWING TITLE

KIRK ROTHER, P.E.
 CONSULTING ENGINEER, PLLC
 5 Saint Stephens Lane, Warwick, NY 10990
 (845) 988-0620

KIRK ROTHER, P.E.	N.Y.S. LIC. NO. 079053	DATE
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1 OF 1