

BLOOMING GROVE REAL ESTATE COR
SEC 201, BLK 1, LOT 1.22

N/E
BLOOMING GROVE REAL ESTATE COR
SEC 201, BLK 1, LOT 1.22

VILLAGE OF SOUTH BLOOMING GROVE
BULK REQUIREMENTS

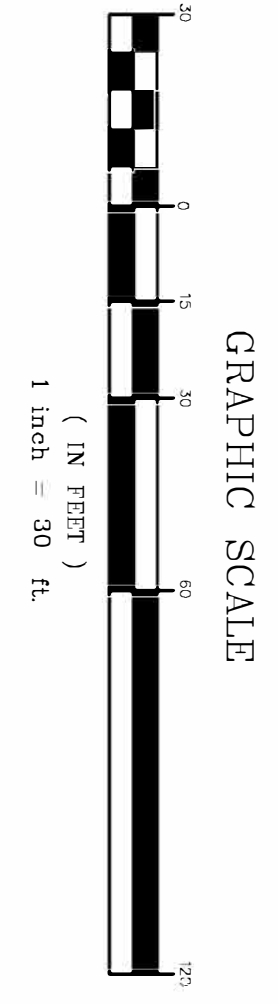
LOT DIMENSIONS	ZONING DISTRICT
MIN. LOT SIZE	RURAL CROSSROADS I 3,000 S.F.
MIN. FRONTAGE	30 FEET
MIN. BUILDING COVERAGE	50%
PRIMARY STRUCTURE	
MIN. FRONT YARD SETBACK	15 FEET
MIN. SIDE YARD	15 FEET
MIN. REAR YARD SETBACK	20 FEET
MAXIMUM HEIGHT (STORIES)	3 STORIES
MAXIMUM HEIGHT (FEET)	35 FEET
ACCESSORY STRUCTURE	
MIN. SIDE YARD SETBACK	10 FEET
MIN. REAR YARD SETBACK	10 FEET
MAXIMUM HEIGHT (STORIES)	2 STORIES
MAXIMUM HEIGHT (FEET)	20 FEET

LOCATION MAP
SCALE: 1" = 2,000'



LEGEND

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING 2' CONTIGUI LINE
- PROPOSED 2' CONTIGUI LINE
- EXISTING EDGE OF PAVEMENT
- BUILDING SETBACK



SHEET INDEX

SHEET #1	SITE PLAN
SHEET #2	SUBDIVISION PLAN
SHEET #3	GRADING & DRAINAGE PLAN
SHEET #4	ROAD PROFILES & DETAILS

SOUTHGROVE
VILLAGE OF SOUTH BLOOMING GROVE,
ORANGE COUNTY, NEW YORK

SITE PLAN

KIRK ROTHER, P.E.
CONSULTING ENGINEER, PLLC
5 St. Stephens Lane, Warwick, NY 10990
(845) 988-0620

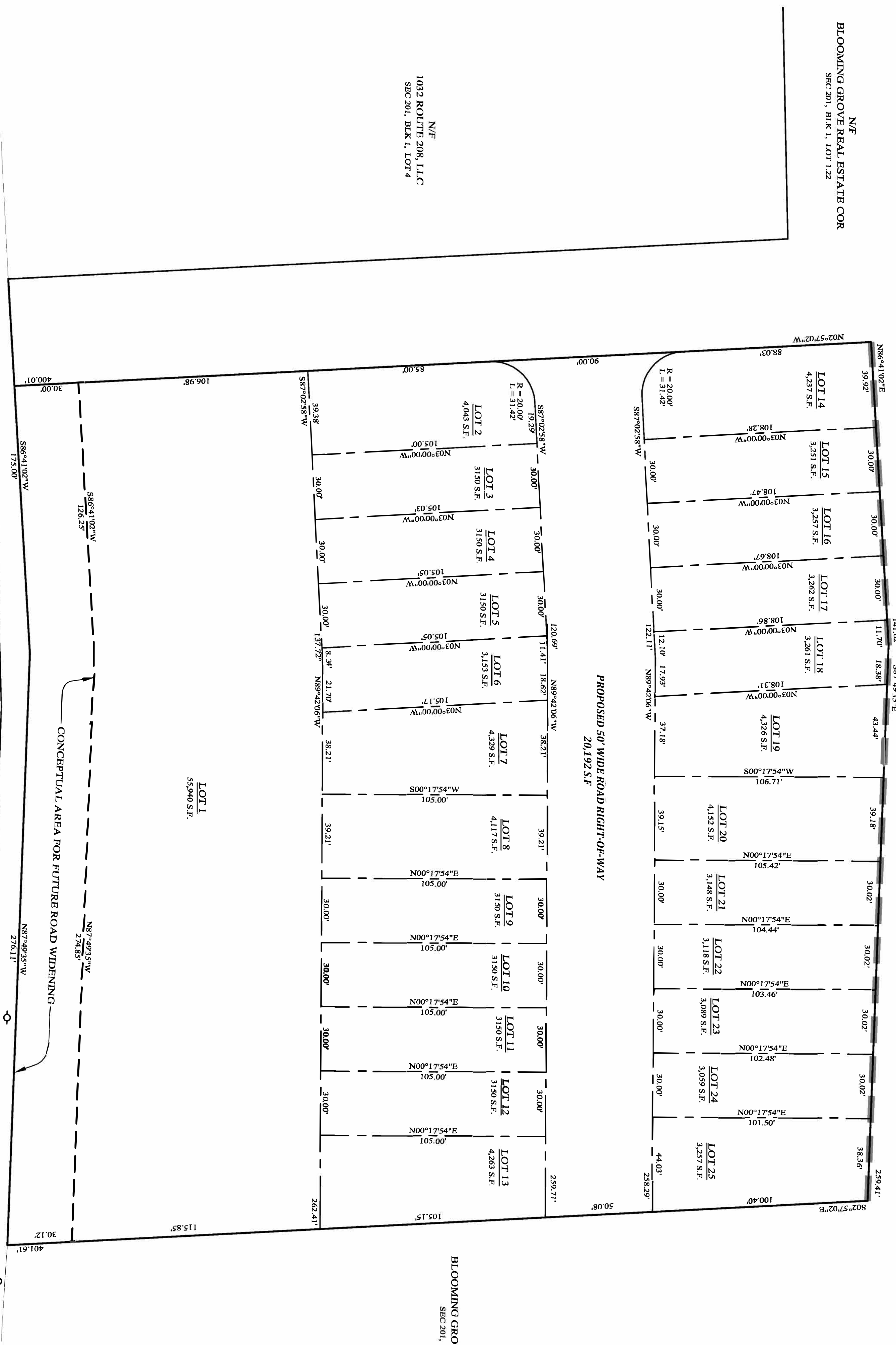
DATE	2019.04
DRAWING TITLE	SOUTHGROVE
PROJECT TITLE	VILLAGE OF SOUTH BLOOMING GROVE, ORANGE COUNTY, NEW YORK
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GENERAL NOTES:

- VILLAGE OF SOUTH BLOOMING GROVE TAX MAP DESIGNATION, SEC. 207, BLOCK 1, LOT 1.23.
 - PARCEL LOCATED IN THE RC-1 ZONING DISTRICT.
 - AREA OF PARCEL - 368 AC.
 - EXISTING SURVEY INFORMATION PROVIDED BY MAP PART 187, SUBDIVISION FOR 20 STANNON LANE, AS RECORDED BY RECORDER'S P.E. AND FILED WITH THE ORANGE COUNTY CLERK AS MAP 416-31 ON DECEMBER 28, 2021.
 - EXISTING LOT LINE INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND SHOULD BE VERIFIED BY THE APPLICANT. THE FIELD CONDITIONS ENCOUNTERED MAY DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS SHOULD BE REPORTED TO THE APPLICANT IMMEDIATELY UPON DISCOVERY.
 - BUILDING FOOTPRINTS SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT, ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS.
- ZONING NOTES:**
- THE PLAN MEETS ALL REQUIREMENTS OF THE VILLAGE OF SOUTH BLOOMING GROVE ZONING CODE §25-42.A THROUGH K, AS FOLLOWS:
- MINIMUM LOT SIZE SHALL BE 3,000 SQUARE FEET, PROVIDED.
 - ALL BUILDINGS SHALL BE SERVED BY PUBLIC WATER AND SEWER, PROPOSED.
 - C, D, NOT APPLICABLE.
 - THE SETBACKS AND BUILD-TO-LINES SHALL BE REVISITED BY THE PLANNING BOARD AT THE TIME OF SITE PLAN APPROVAL. THE APPLICANT REQUESTS THE PLANNING BOARD APPROVE SIDE SETBACKS TO THE BUILD-TO-LINE FOR THE CENTER UNITS OF EACH RESIDENTIAL BUILDING.
 - WHENEVER POSSIBLE, ACCESS DRIVES AND CIRCULATION PATTERNS SHALL MINIMIZE CURBS CUTS TO PUBLIC ROADS. JOINT DRIVEWAYS FOR ADJOINING PROPERTIES IS ENCOURAGED, PROVIDED, GRASS-TILERS DESIGN IT WITH JOINT DRIVEWAYS.
 - MAXIMUM FOOTPRINT OF ANY STRUCTURE SHALL BE 10,000 SQUARE FEET, PROVIDED (ENCOURAGED). THE WELLNESS CENTER IS PROPOSED WITH A FOOTPRINT OF 9,200.
 - AT LEAST 10% OF THE DWELLING UNITS SHALL BE AFFORDABLE, PROVIDED. (GRIS- PLEASE PLACE A NOTE ON 2 CENTER UNITS THAT THEY ARE AFFORDABLE.)
 - & J, NOT APPLICABLE.
 - IN MULTI-ACRE DEVELOPMENTS PROVISIONS SHOULD BE MADE FOR HIKING OR WALKING PATHS THROUGH THE DEVELOPMENT, ALONG PUBLIC ROADS, TO COMMERCIAL AND SERVICE BUSINESSES AND TO THE LOT LINES OF ADJOINING PROPERTIES. THE APPLICANT REQUESTS THAT THE PLANNING BOARD APPROVE THE LOCATION OF ANY ROAD WHICH TRAVELS FROM ONE SIDE OF THE PROPERTY TO THE OTHER FROM EAST TO WEST, WE HAVE A 20 FEET RIGHT OF WAY FOR INFRASTRUCTURE WHICH CAN BE USED FOR PATHWAYS.

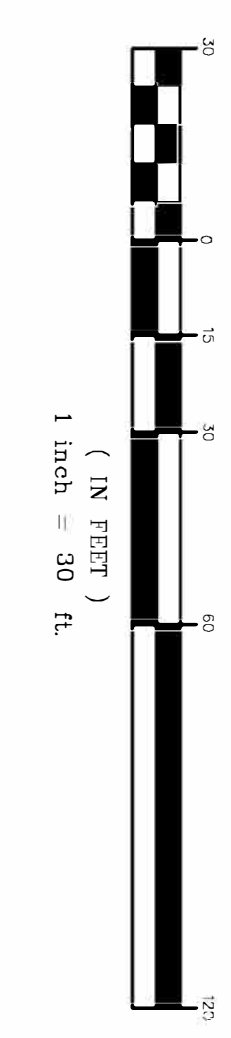


N/F
BLOOMING GROVE REAL ESTATE COR
SEC 201, BLK 1, LOT 1,22



NYS ROUTE 208

GRAPHIC SCALE



LEGEND

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING 2' CONTOUR LINE
- PROPOSED 2' CONTOUR LINE
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT
- BUILDING SETBACK

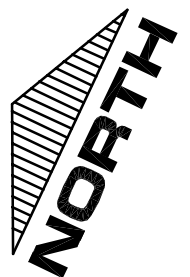
SOUTHGROVE

VILLAGE OF SOUTH BLOOMING GROVE,
ORANGE COUNTY, NEW YORK
**SUBDIVISION
PLAT**

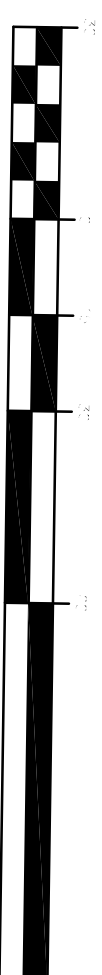
KIRK ROTHER, P.E.
CONSULTING ENGINEER, PLLC
5 St. Stephens Lane, Warwick, NY 10990
(845) 988-0620

DRAWING TITLE		
KIRK ROTHER, P.E. N.Y.S. LIC. NO. 079033		
D.O.T. SHEET #	D.E.C. SHEET #	DATE
N.A.	N.A.	2012/8/4
PROJECT #	SHEET #	
2012/8 SP	2 OF 4	

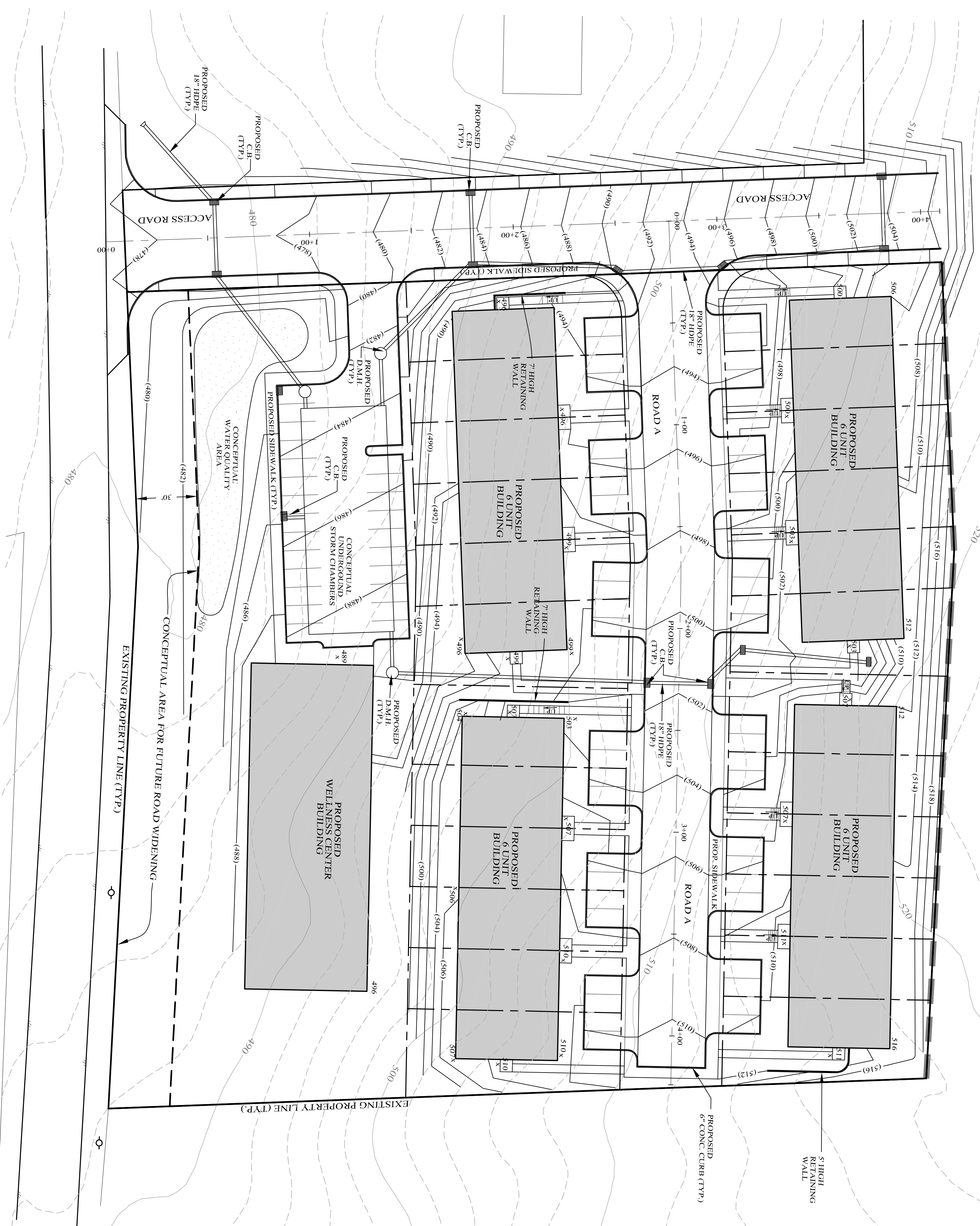
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NYS ENGINEERING LAW. REPRODUCTIONS OF THIS PLAN WHICH DO NOT BEAR THE SEAL OF A LICENSED PROFESSIONAL ENGINEER SHALL BE CONSIDERED INVALID.



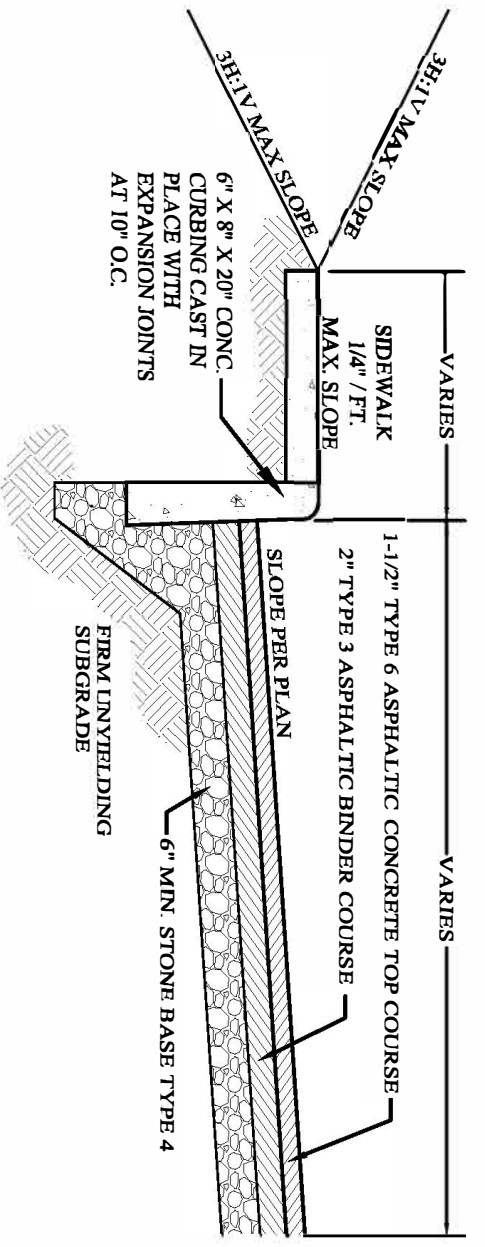
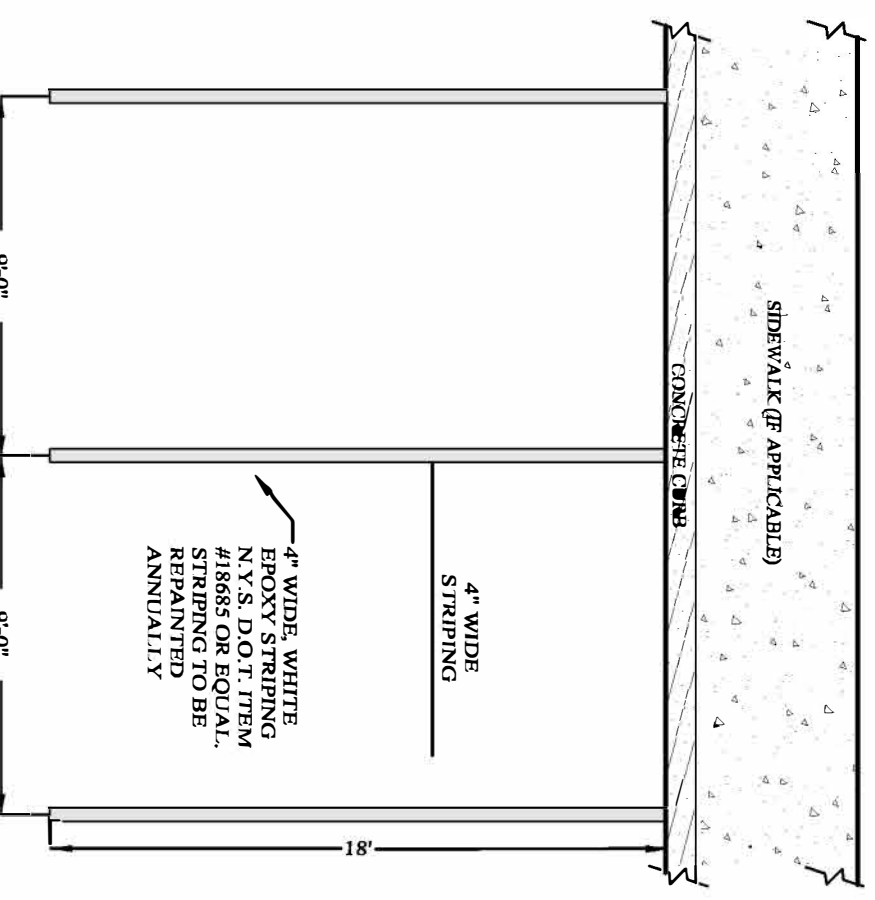
LEGEND
EXISTING PROPERTY LINE
PROPOSED PROPERTY LINE
EXISTING CONTOUR LINE
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BUILDING SETBACK



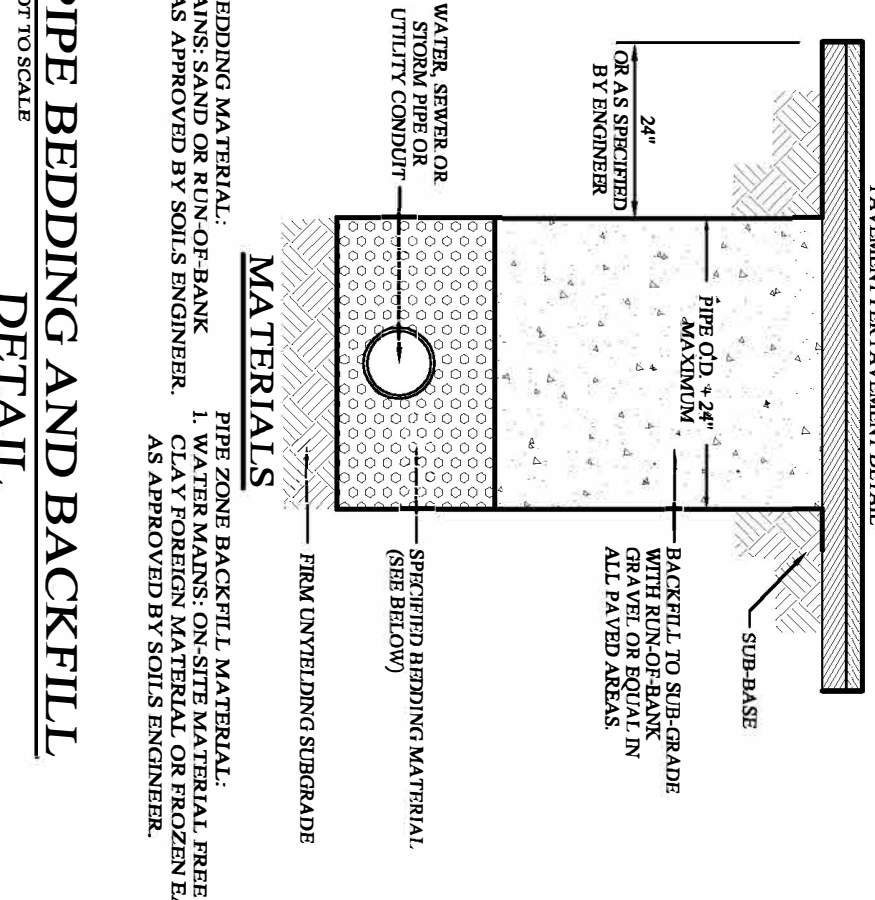
GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.



SOUTHGROVE VILLAGE OF SOUTH BLOOMING GROVE, ORANGE COUNTY, NEW YORK		
PROJECT TITLE GRADING & DRAINAGE PLAN		
DRAWING TITLE KIRK ROTHER, P.E. CONSULTING ENGINEER, PLLC 5 St. Stephens Lane, Warwick, NY 10990 (845) 988-0620		
DATE	DATE	
07-05-22 INITIAL PREPARATION	N.Y.S. LIC. NO.	079033
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	DEC. SHEET #	0340
	PROJECT #	20129.0
	SCALE	N.A.
	AS SHOWN	3 OF 4

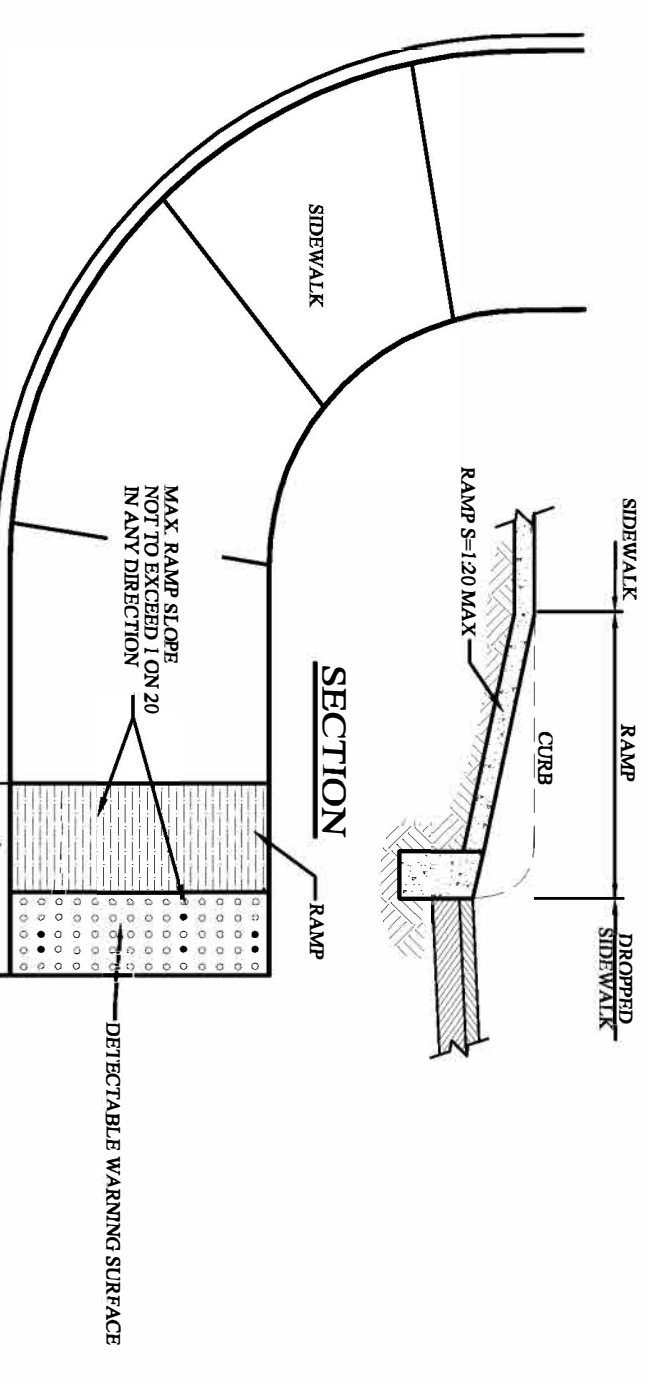


TYPICAL PAVEMENT SECTION
PARKING LOTS & DRIVEWAYS
NOT TO SCALE

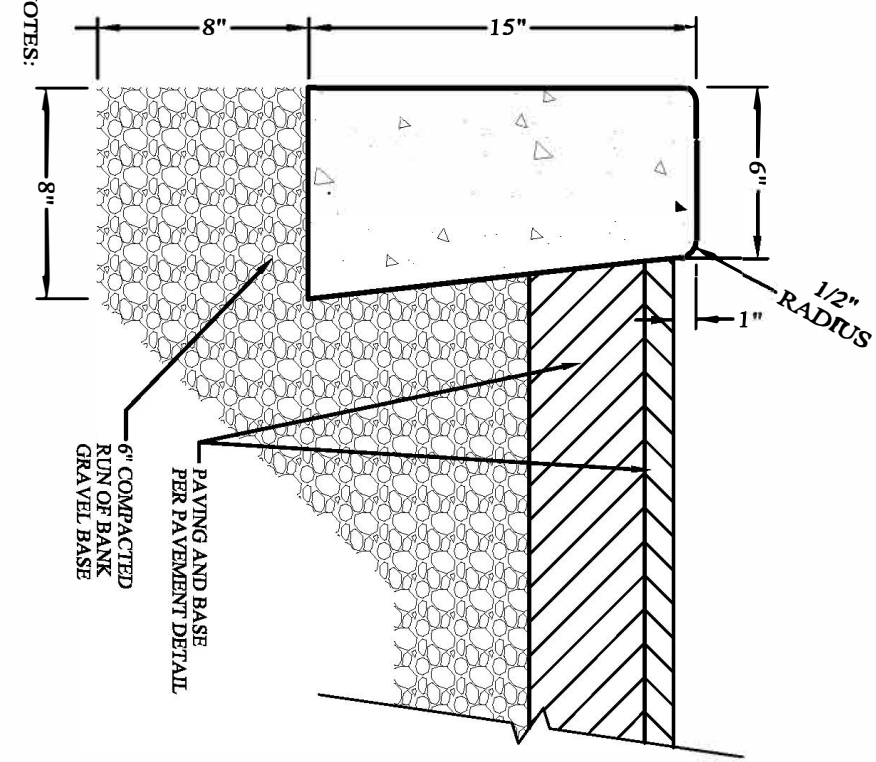


PIPE BEDDING AND BACKFILL
DETAIL
NOT TO SCALE

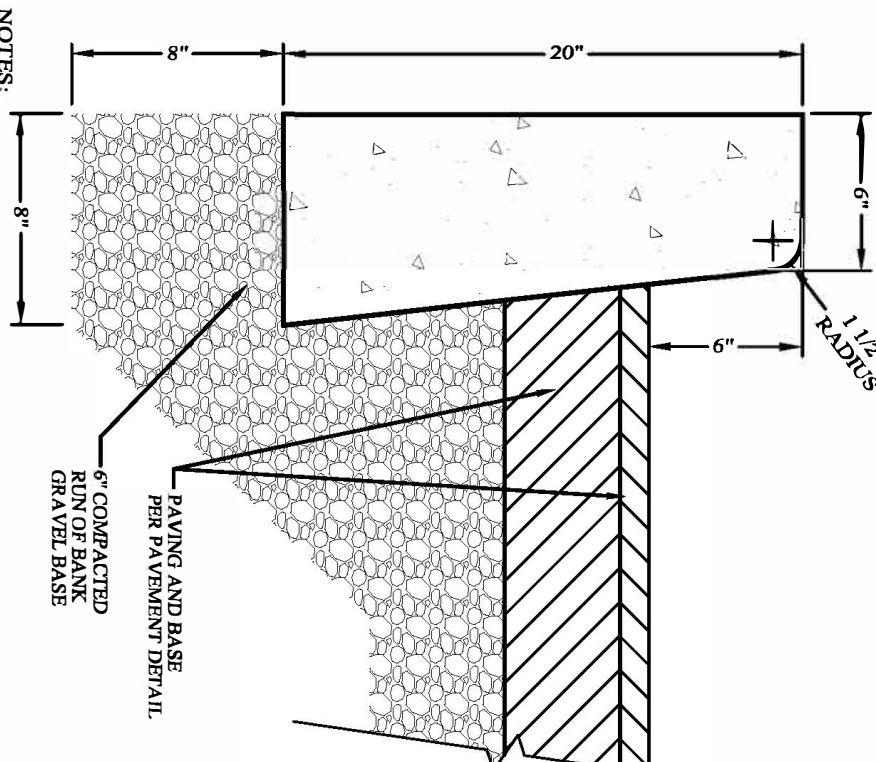
PARKING SPACE STRIPING DETAIL
NOT TO SCALE



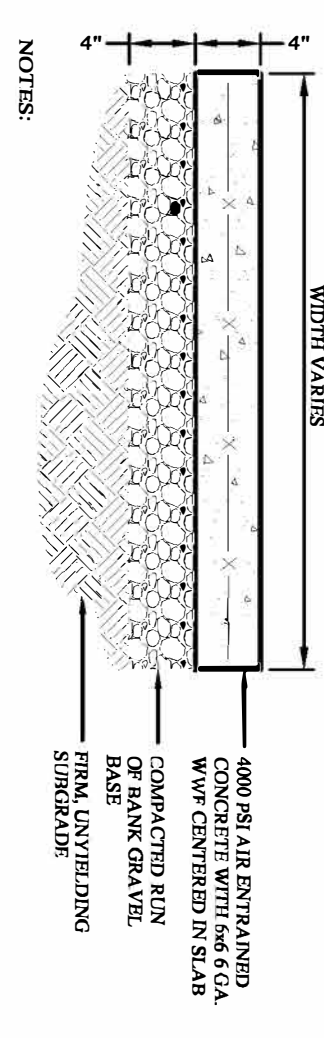
HANDICAP ACCESSIBLE RAMP DETAIL
NOT TO SCALE



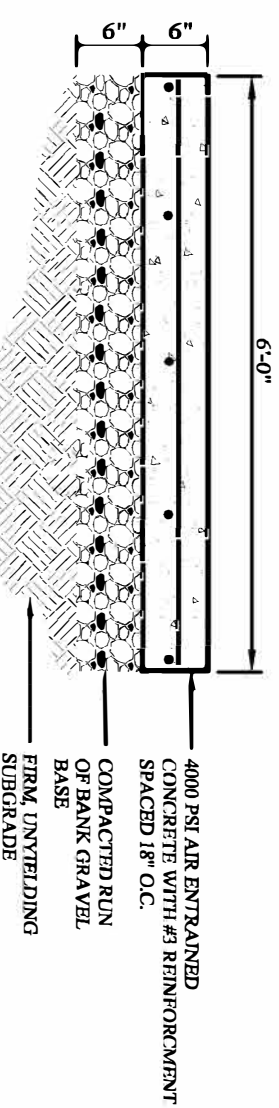
CONCRETE DROP CURB DETAIL
NOT TO SCALE



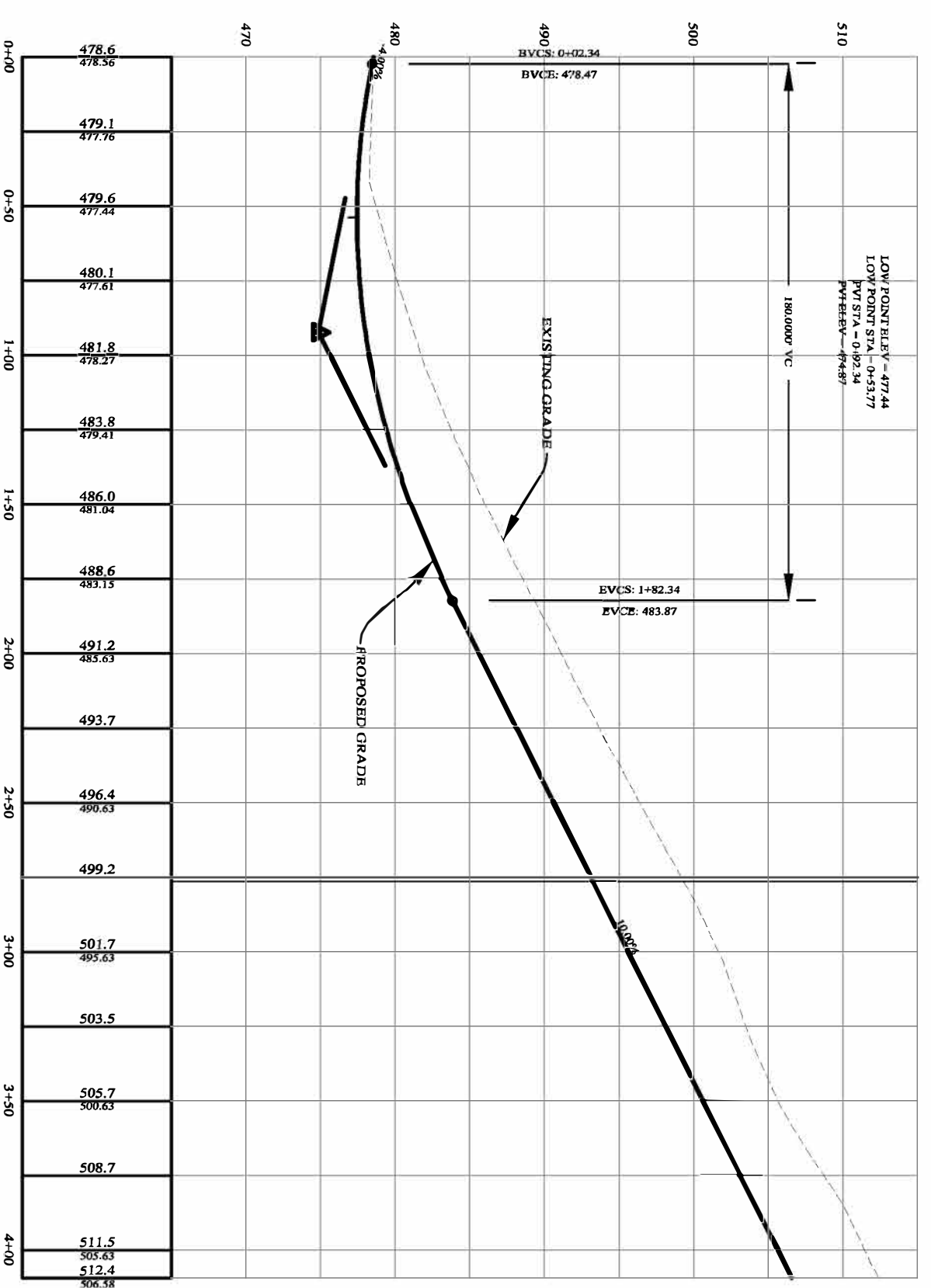
CONCRETE CURB DETAIL
(WITHIN SITE)
NOT TO SCALE



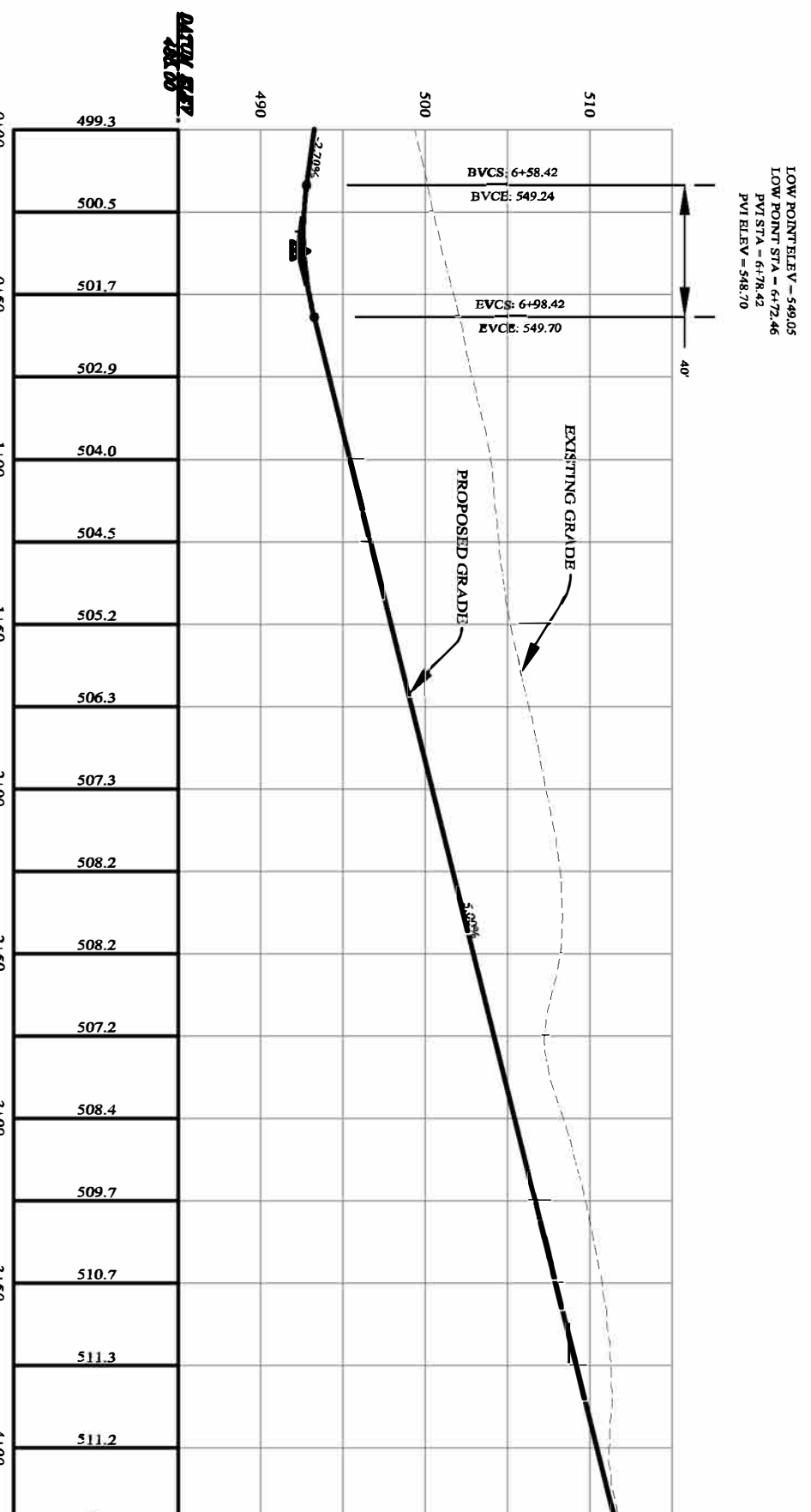
CONCRETE SIDEWALK DETAIL
NOT TO SCALE



CONCRETE SIDEWALK AT
PARKING LOT ENTRANCE DETAIL
NOT TO SCALE



ACCESS ROAD PROFILE



ROAD A PROFILE

<p>SOUTHGROVE VILLAGE OF SOUTH BLOOMING GROVE, ORANGE COUNTY, NEW YORK</p>	
<p>ROAD PROFILES & DETAILS</p>	
<p>KIRK ROTHER, P.E. CONSULTING ENGINEER, PLLC 5 St. Stephens Lane, Warwick, NY 10990 (845) 988-0620</p>	
DRAWING TITLE	DATE
PROJECT TITLE	
DRAWING NO.	
D.O.T. SHEET #	D.E.C. SHEET #
N.A.	N.A.
CD #	SOUL
20128 SP	4 OF 4
20129.0	AS SHOWN
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