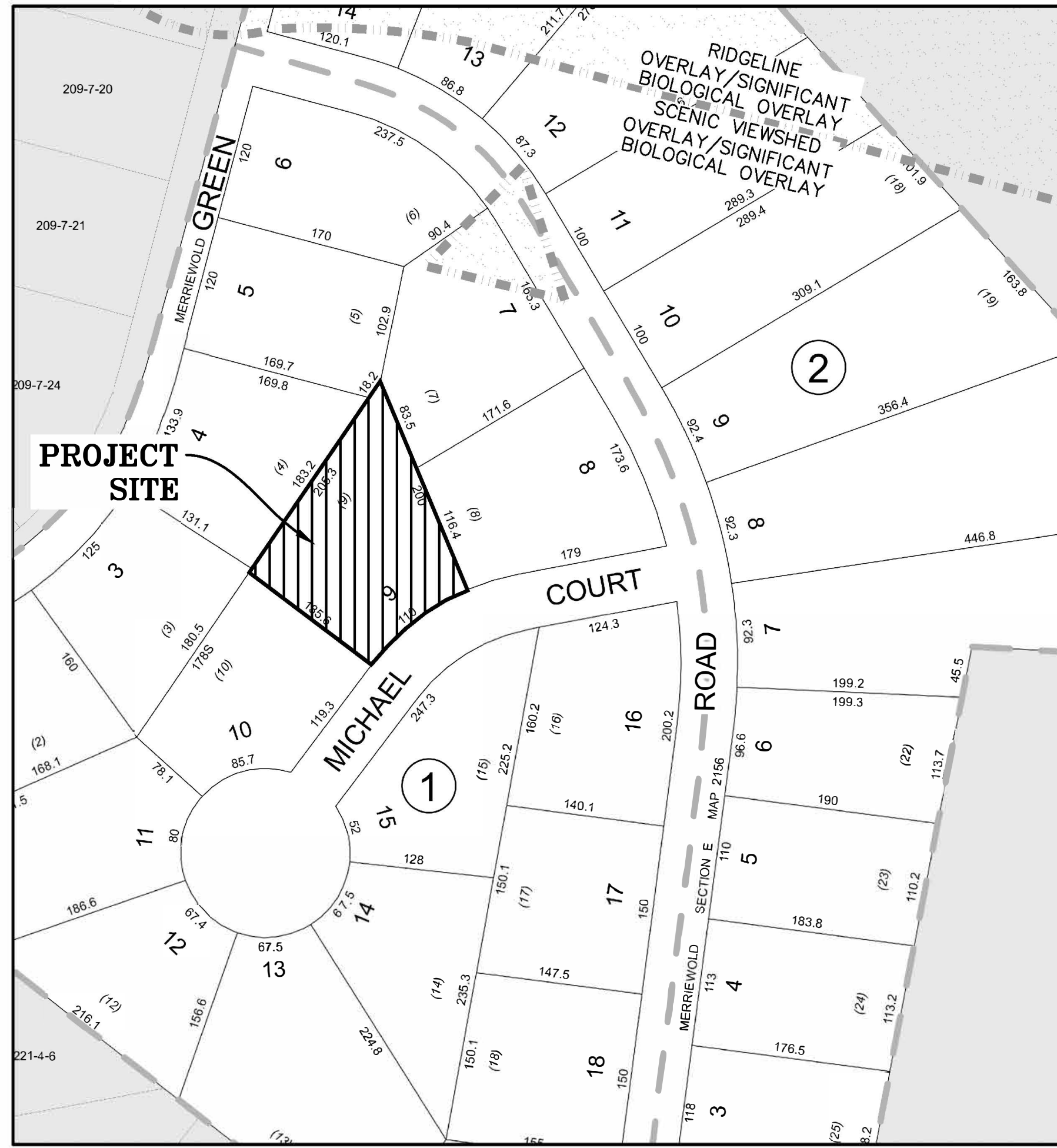
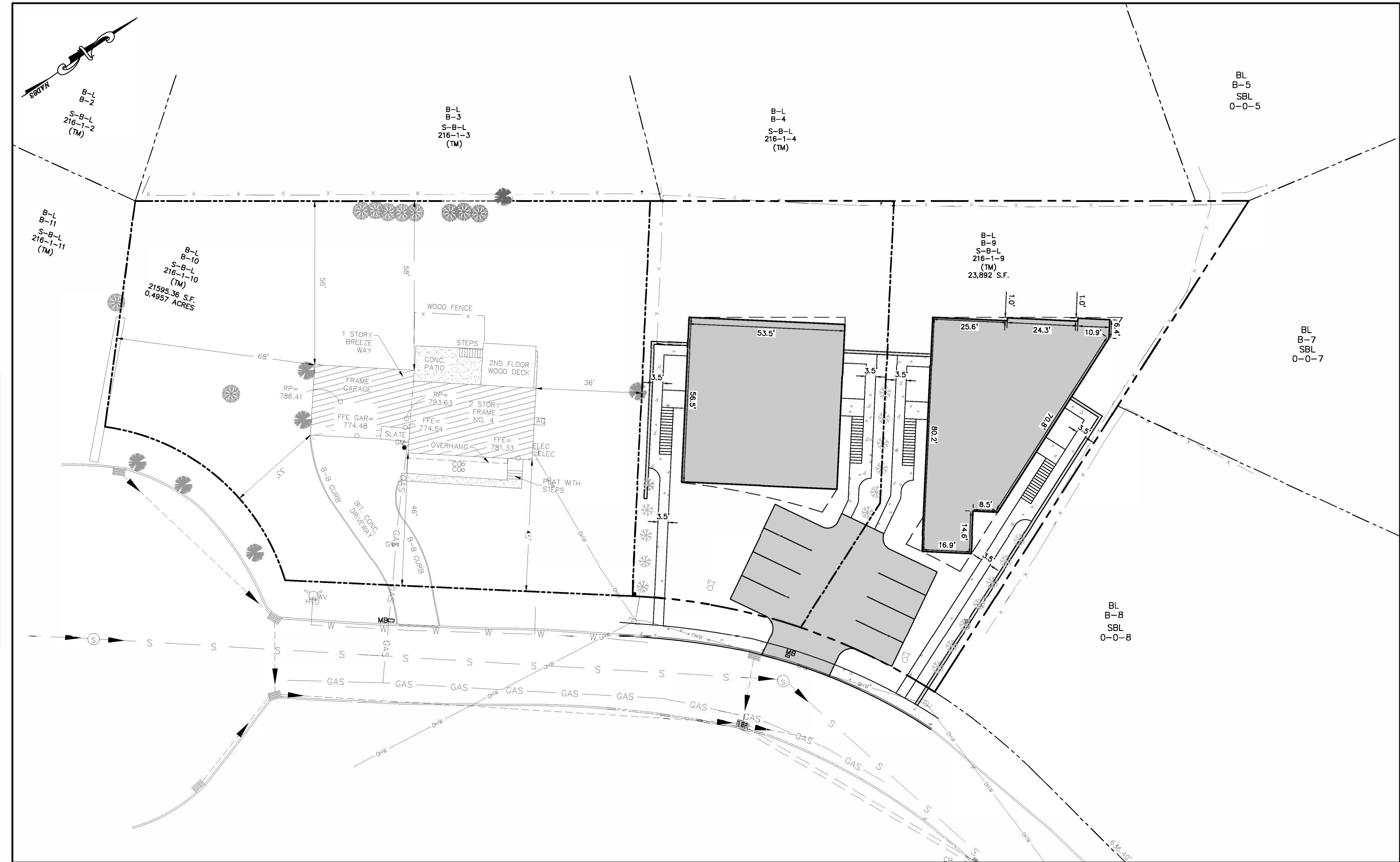


SITE PLAN & SUBDIVISION PREPARED FOR 2 & 4 MICHAEL COURT VILLAGE OF SOUTH BLOOMING GROVE ORANGE COUNTY, NEW YORK



LOCATION MAP
SCALE: 1"=100'



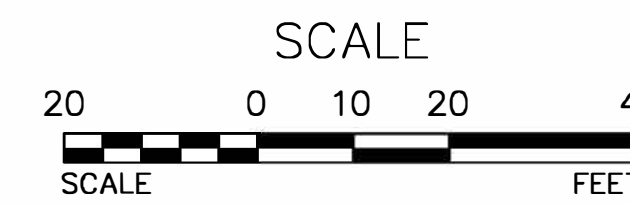
GENERAL NOTES:

- 1 RECORD OWNER:
MONROE NY 10950
OWNER: 216-1-9
2 MICHAEL CT
CHEZKY MERTZ
PO BOX #274
MONROE NY 10949
- 2 APPLICANT:
MERTZCO MANAGEMENT CORP.
PO BOX #274
MONROE NY 10949
- 3 PROPERTY ADDRESS:
2 MICHAEL CT.
VILLAGE OF SOUTH BLOOMING GROVE
ORANGE COUNTY, NEW YORK
- 4 DEED 14621 PAGE: 780
- 4 REFERENCES:
1 SURVEY ENTITLED "OUTBOUND & TOPOGRAPHIC SURVEY PLAN FOR 2 MICHAEL COURT" PREPARED BY JOHN W. MCCORD, SR. DATED 06-27-19.
- 5 ZONING OVERLAYS:
-RIDGELINE OVERLAY
-SCENIC OVERLAY

DRAWING LIST

SHEET #	SHEET TITLE	ORIGINAL DATE/ LAST REVISED DATE
01 OF 08	TITLE SHEET	05-05-23/
02 OF 08	EXISTING CONDITIONS PLAN	05-05-23/
03 OF 08	DEMOLITION PLAN	05-05-23/
04 OF 08	SITE PLAN	05-05-23/
05 OF 08	GRADING PLAN	05-05-23/
06 OF 08	EROSION AND SEDIMENT CONTROL PLAN	05-05-23/
07 OF 08	EROSION AND SEDIMENT CONTROL DETAILS	05-05-23/
08 OF 08	CONSTRUCTION DETAILS	05-05-23/

TITLE SHEET
SCALE: 1"=20'



REV.	BY	DATE	DESCRIPTION

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SITE PLAN & SUBDIVISION PREPARED FOR
2 & 4 MICHAEL COURT
VILLAGE OF SOUTH BLOOMING GROVE
ORANGE COUNTY, NEW YORK

JOB#: 22-020
SCALE: AS NOTED
DATE: 07-05-22
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SHEET NO. 01 of 08

TITLE SHEET

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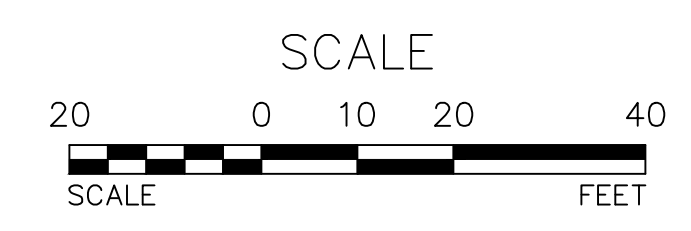


LEGEND:

---	490	---	EXISTING MAJOR CONTOUR
---		---	EXISTING MINOR CONTOUR
			EXISTING EDGE OF PAVEMENT
---		---	EXISTING PROPERTY LINE
---		---	EXISTING ADJACENT PROPERTY LINE
X		X	EXISTING FENCE
OHW		OHW	EXISTING OVERHEAD LINE
S		S	EXISTING SEWER LINE
GAS		GAS	EXISTING GAS LINE
○			EXISTING POLE
⊙			EXISTING SEWER MANHOLE
⊛			EXISTING FIRE HYDRANT
⊞			EXISTING INLET
⊞			EXISTING WATER VALVE
⊞			EXISTING GAS VALVE
●			EXISTING PROPERTY CORNER
⊞			EXISTING AIRCONDITIONING UNIT
⊞			EXISTING ELECTRIC METER
⊞			EXISTING MAIL BOX
⊞			EXISTING TREE



EXISTING CONDITIONS PLAN
SCALE: 1"=20'



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SITE PLAN & SUBDIVISION PREPARED FOR
2 & 4 MICHAEL COURT
VILLAGE OF SOUTH BLOOMING GROVE
ORANGE COUNTY, NEW YORK

EXISTING CONDITIONS PLAN

<p>MICHAEL A. MORGANTE, P.E. LIC. NO. 78577</p>	<table border="0"> <tr><td>JOB#:</td><td>22-020</td></tr> <tr><td>SCALE:</td><td>AS NOTED</td></tr> <tr><td>DATE:</td><td>07-05-22</td></tr> <tr><td>DRAWN:</td><td>MM</td></tr> <tr><td>CHECKED:</td><td>MM</td></tr> <tr><td>SHEET NO.:</td><td>02 of 08</td></tr> </table>	JOB#:	22-020	SCALE:	AS NOTED	DATE:	07-05-22	DRAWN:	MM	CHECKED:	MM	SHEET NO.:	02 of 08
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- LEGEND:**
- 490 --- EXISTING MAJOR CONTOUR
 - --- EXISTING MINOR CONTOUR
 - ==== EXISTING EDGE OF PAVEMENT
 - EXISTING PROPERTY LINE
 - - - - EXISTING ADJACENT PROPERTY LINE
 - X X EXISTING FENCE
 - OHV OHV EXISTING OVERHEAD LINE
 - S S EXISTING SEWER LINE
 - GAS GAS EXISTING GAS LINE
 - ○ EXISTING POLE
 - ⊙ ⊙ EXISTING SEWER MANHOLE
 - ⊕ ⊕ EXISTING FIRE HYDRANT
 - ⊞ ⊞ EXISTING INLET
 - ⊞ ⊞ EXISTING WATER VALVE
 - ⊞ ⊞ EXISTING GAS VALVE
 - ● EXISTING PROPERTY CORNER
 - ⊞ ⊞ EXISTING AIRCONDITIONING UNIT
 - ⊞ ⊞ EXISTING ELECTRIC METER
 - ⊞ ⊞ EXISTING MAIL BOX
 - ⊞ ⊞ EXISTING TREE

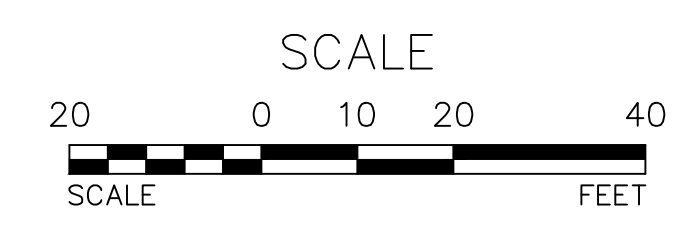


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Dig Safely. New York
Call 811
 before you dig

DEMOLITION PLAN
 SCALE: 1"=20'



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SITE PLAN & SUBDIVISION PREPARED FOR
2 & 4 MICHAEL COURT
 VILLAGE OF SOUTH BLOOMING GROVE
 ORANGE COUNTY, NEW YORK

DEMOLITION PLAN

MICHAEL A. MORGANTE, P.E.
 LIC. NO. 78577

JOB#: 22-020
 SCALE: AS NOTED
 DATE: 07-05-22
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LEGEND:

	EXISTING EDGE OF PAVEMENT
	EXISTING PROPERTY LINE
	EXISTING ADJACENT PROPERTY LINE
	EXISTING FENCE
	EXISTING OVERHEAD LINE
	EXISTING SEWER LINE
	EXISTING GAS LINE
	EXISTING POLE
	EXISTING SEWER MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING INLET
	EXISTING WATER VALVE
	EXISTING GAS VALVE
	EXISTING PROPERTY CORNER
	EXISTING AIRCONDITIONING UNIT
	EXISTING ELECTRIC METER
	EXISTING MAIL BOX
	EXISTING TREE
	PROPOSED SETBACK
	PROPOSED EDGE OF PAVEMENT
	PROPOSED LOT LINE
	PROPOSED WALL

TABLE OF ZONING REQUIREMENTS:

RURAL RESIDENTIAL (RR)		PROPOSED	
PRIMARY STRUCTURE 2 FLOORS & BASEMENT	REQUIRED	LOT 1	LOT 2
LOT AREA		11,293.59 SF 0.26 AC	12,598.41 SF 0.29 AC
MINIMUM FRONT YARD SETBACK	40 FEET	40.2 FEET	40.1 FEET
MINIMUM SIDE YARD	15 FEET	15.0 FEET	15.0 FEET
MINIMUM BOTH SIDE YARDS:	30 FEET	15.0 FEET	15.0 FEET
MINIMUM REAR YARD SETBACK	35 FEET	40.0 FEET	40.0 FEET
MAXIMUM HEIGHT (IN STORIES)	2 STORIES	2 STORIES	2 STORIES
MAXIMUM HEIGHT (IN FEET)	35 FEET	35 FEET	35 FEET



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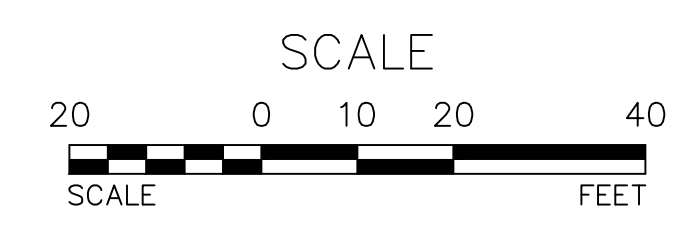
SITE PLAN

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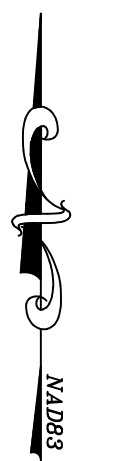
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SITE PLAN
SCALE: 1"=20'



- LEGEND:**
- 490 --- EXISTING MAJOR CONTOUR
 - --- EXISTING MINOR CONTOUR
 - - - - - EXISTING EDGE OF PAVEMENT
 - - - - - EXISTING ADJACENT PROPERTY LINE
 - - - - - EXISTING FENCE
 - X - X - EXISTING OVERHEAD LINE
 - OHW - OHW - EXISTING SEWER LINE
 - GAS - GAS - EXISTING GAS LINE
 - EXISTING POLE
 - ⊙ EXISTING SEWER MANHOLE
 - ⊙ EXISTING FIRE HYDRANT
 - ⊙ EXISTING INLET
 - ⊙ EXISTING WATER VALVE
 - ⊙ EXISTING GAS VALVE
 - EXISTING PROPERTY CORNER
 - ⊙ EXISTING AIRCONDITIONING UNIT
 - ⊙ EXISTING ELECTRIC METER
 - ⊙ EXISTING MAIL BOX
 - ⊙ EXISTING TREE
 - PROPOSED EDGE OF PAVEMENT
 - PROPOSED LOT LINE
 - PROPOSED WALL
 - 775 --- PROPOSED MAJOR CONTOURS
 - 776 --- PROPOSED MINOR CONTOURS
 - PROPOSED SIDEWALK
 - 6"W --- 6"W --- PROPOSED 6" C900 WATER LINE
 - 4"S --- 4"S --- PROPOSED 4" SDR 35 SEWER LINE



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ORANGE COUNTY, NEW YORK

GRADING PLAN

MICHAEL A. MORGANTE, P.E.
LIC. NO. 78577

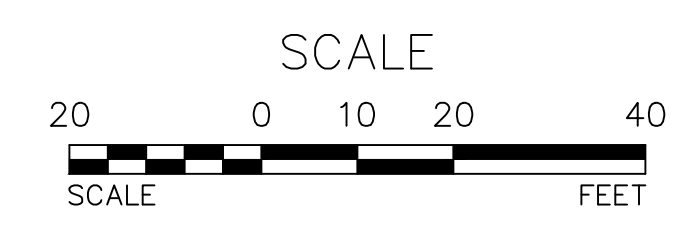
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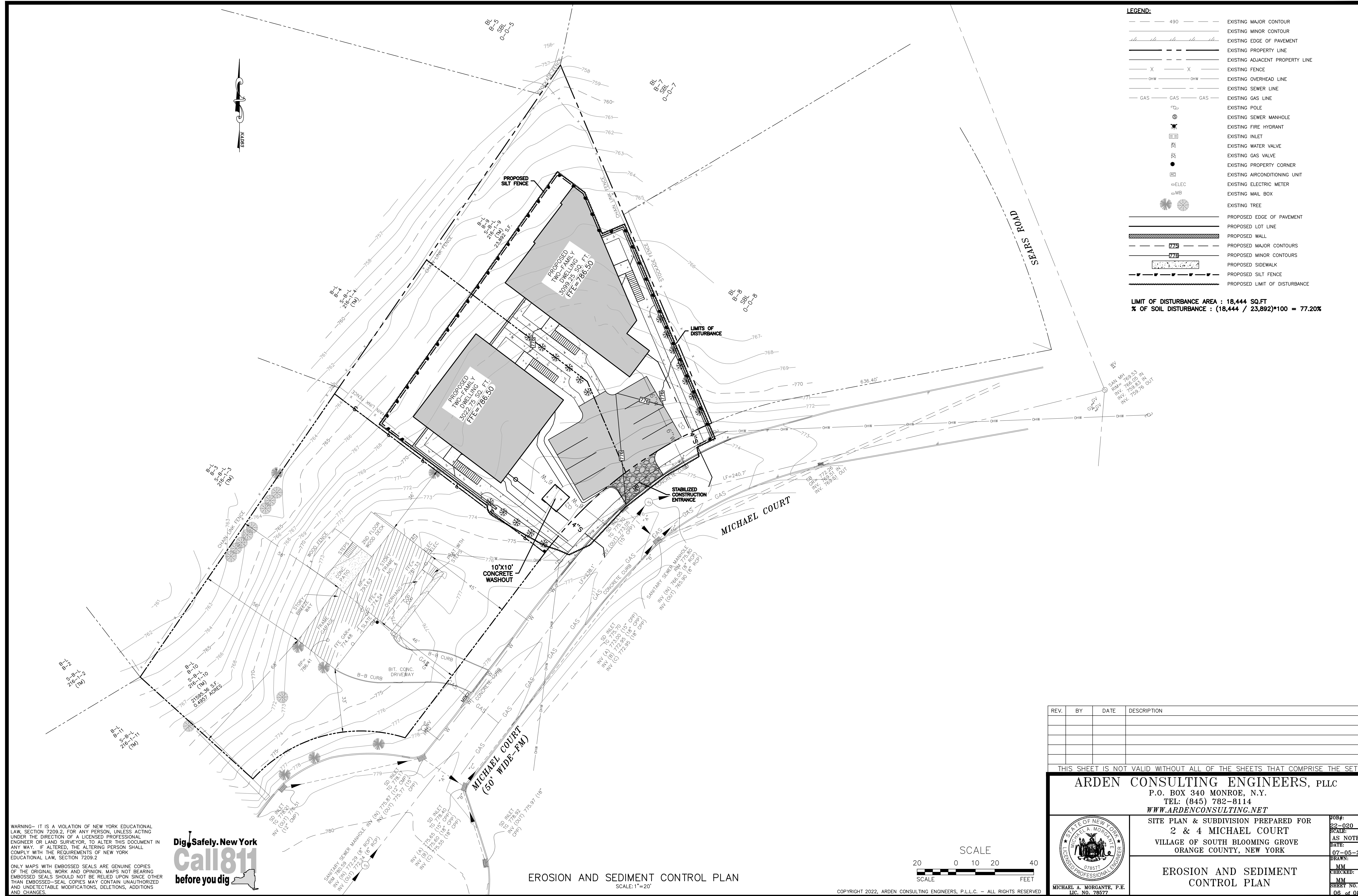


GRADING PLAN
SCALE: 1"=20'



- LEGEND:**
- 490 --- EXISTING MAJOR CONTOUR
 - --- EXISTING MINOR CONTOUR
 - --- EXISTING EDGE OF PAVEMENT
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 - --- EXISTING MAIL BOX
 - --- EXISTING TREE
 - --- PROPOSED EDGE OF PAVEMENT
 - --- PROPOSED LOT LINE
 - --- PROPOSED WALL
 - 775 --- PROPOSED MAJOR CONTOURS
 - 776 --- PROPOSED MINOR CONTOURS
 - --- PROPOSED SIDEWALK
 - --- PROPOSED SILT FENCE
 - --- PROPOSED LIMIT OF DISTURBANCE

LIMIT OF DISTURBANCE AREA : 18,444 SQ.FT
 % OF SOIL DISTURBANCE : (18,444 / 23,892)*100 = 77.20%

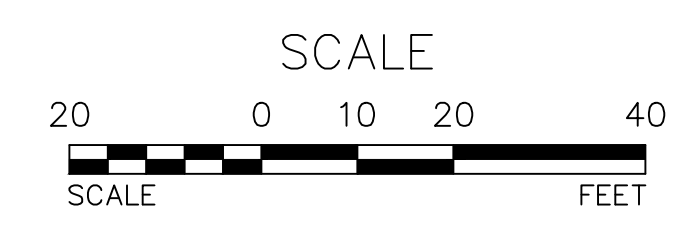


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EROSION AND SEDIMENT CONTROL PLAN
 SCALE: 1"=20'



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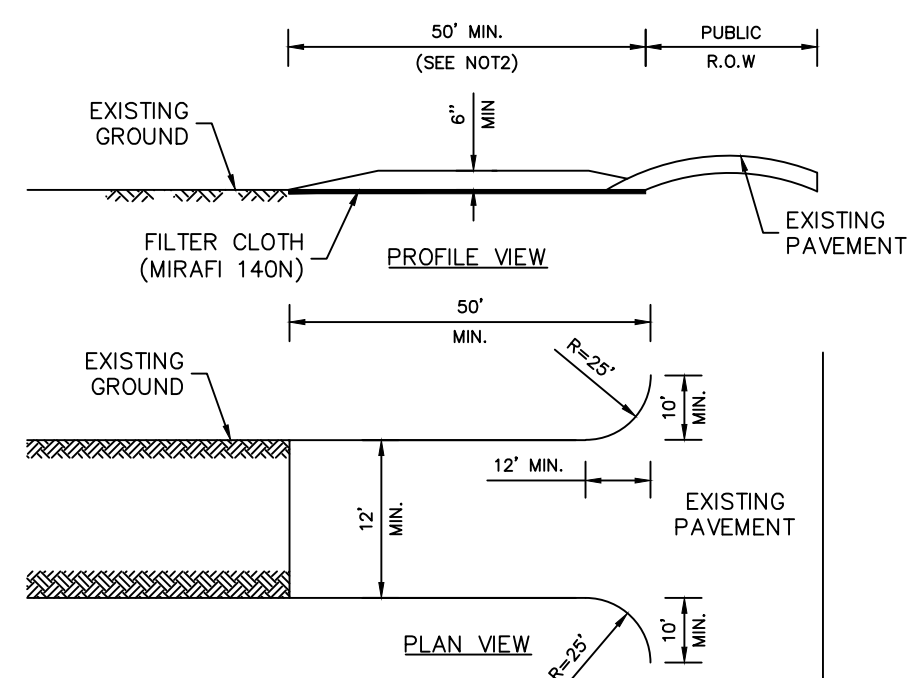
EROSION AND SEDIMENT CONTROL PLAN

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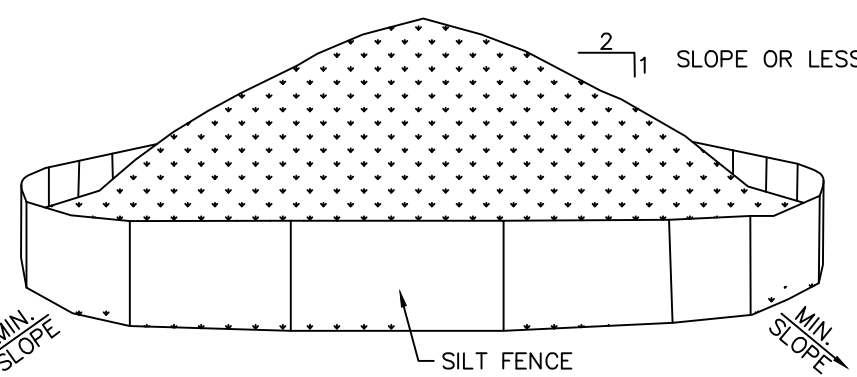
SCALE

SCALE FEET



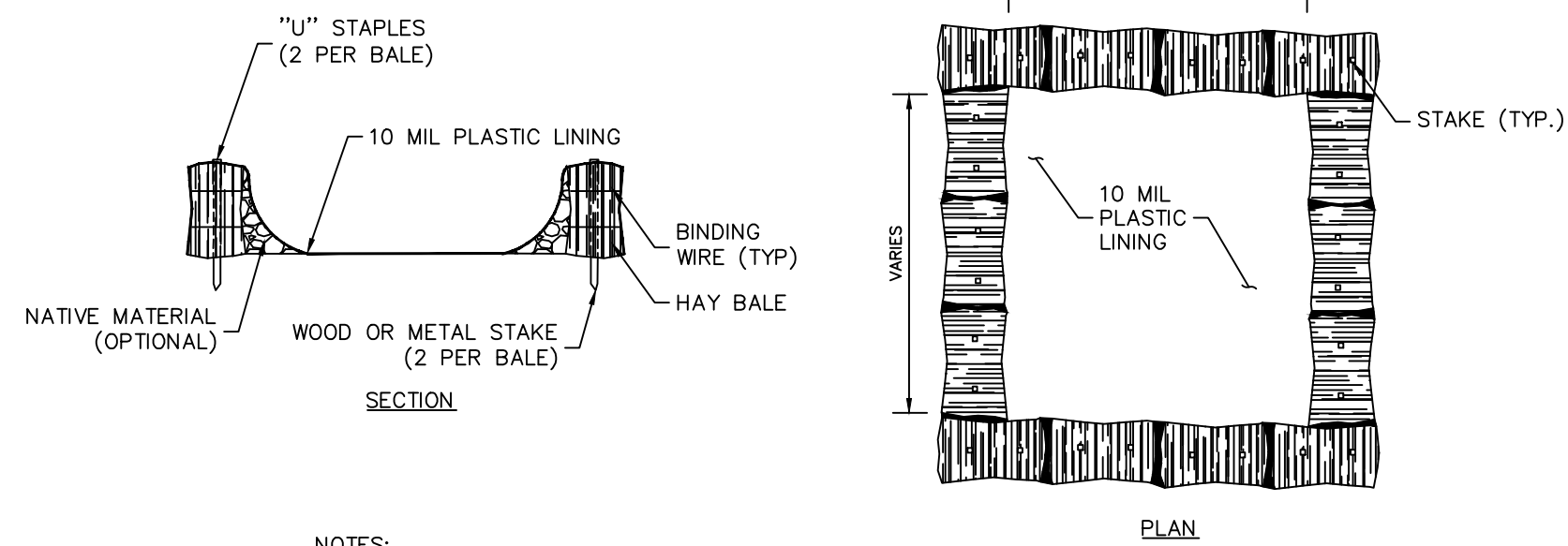
- NOTES:**
- PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC R.O.W.
- CONSTRUCTION SPECIFICATIONS:**
1. STONE SIZE - USE 3" STONE (NYS DOT ITEM #623.11 SIZE DESIGNATION #2, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT)
 2. LENGTH - NOT LESS THAN 50- FEET (EXCEPT ON SINGLE FAMILY LOT. 30- FEET MINIMUM LENGTH WOULD APPLY.)
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES
 4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY (24) FOOT IF SINGLE ENTRANCE TO SIGHT.
 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL, IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS - OF - WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTR. ENTRANCE
NOT TO SCALE



- NOTES:**
1. AREA CHOSEN FOR STOCKPIILING OPERATIONS SHALL BE DRY AND STABLE.
 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1V:2H.
 3. UPON COMPLETION OF SOIL STOCKPIILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OF COVERED.
 4. SEE SPECIFICATIONS FOR INSTALLATION OF FENCE.
 5. HAY BALES TO BE USED WHERE STOCKPILES ARE LOCATED OF PAVED AREAS.

TEMPORARY STOCKPILE
NOT TO SCALE

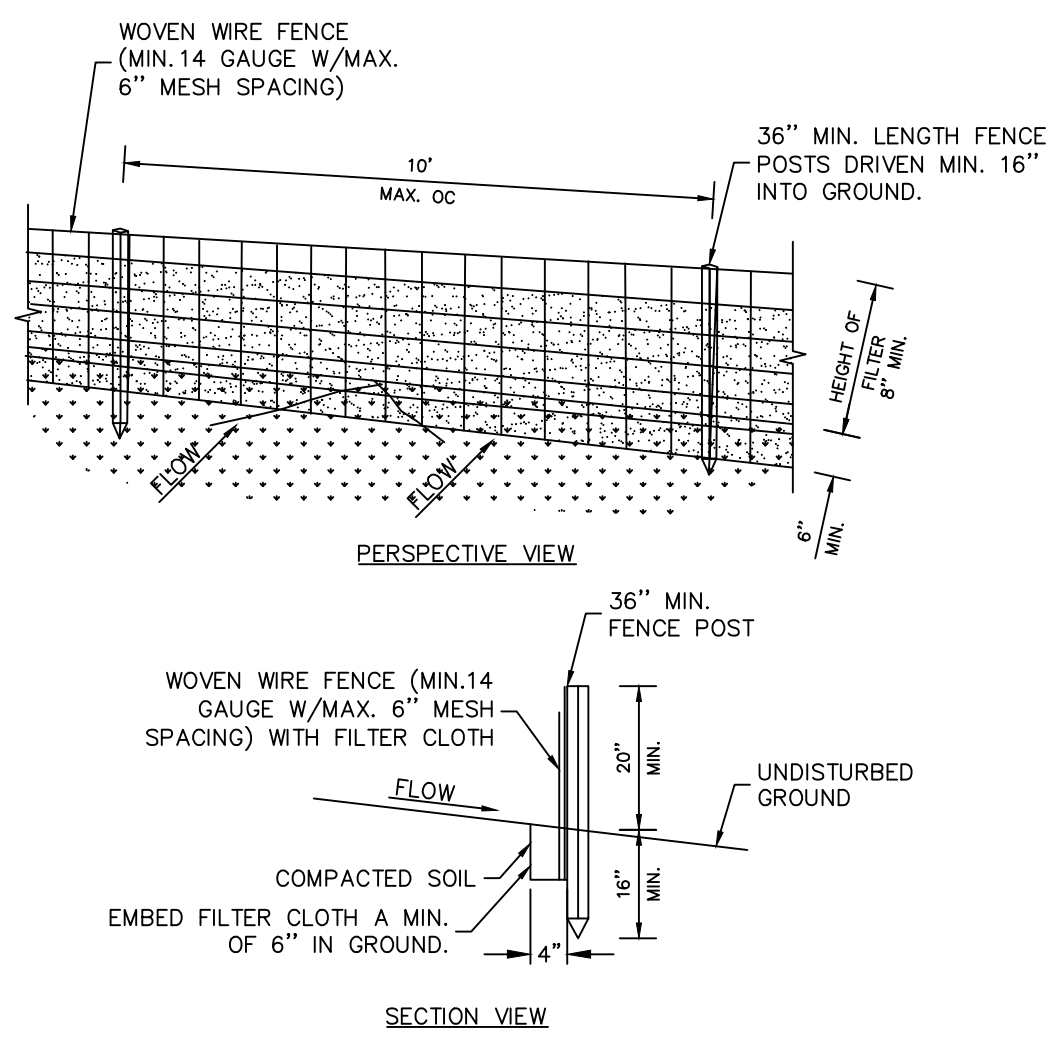


- NOTES:**
1. CONCRETE WASHOUT SIGN TO BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 2. REMOVE HARDEN CONCRETE WHEN WITHIN 4" FROM TOP OF STRUCTURE.
 3. CONSTRUCT NEW FACILITIES ONCE CURRENT FACILITIES ARE TWO- THIRDS FULL.
 4. LINERS, HAY BALES, E.T.C SHALL BE INSPECTED FOR DAMAGE. ANY DAMAGE SHALL BE REPAIR PROMPTLY.

ABOVE GROUND TEMPORARY CONCRETE WASHOUT FACILITY
NOT TO SCALE

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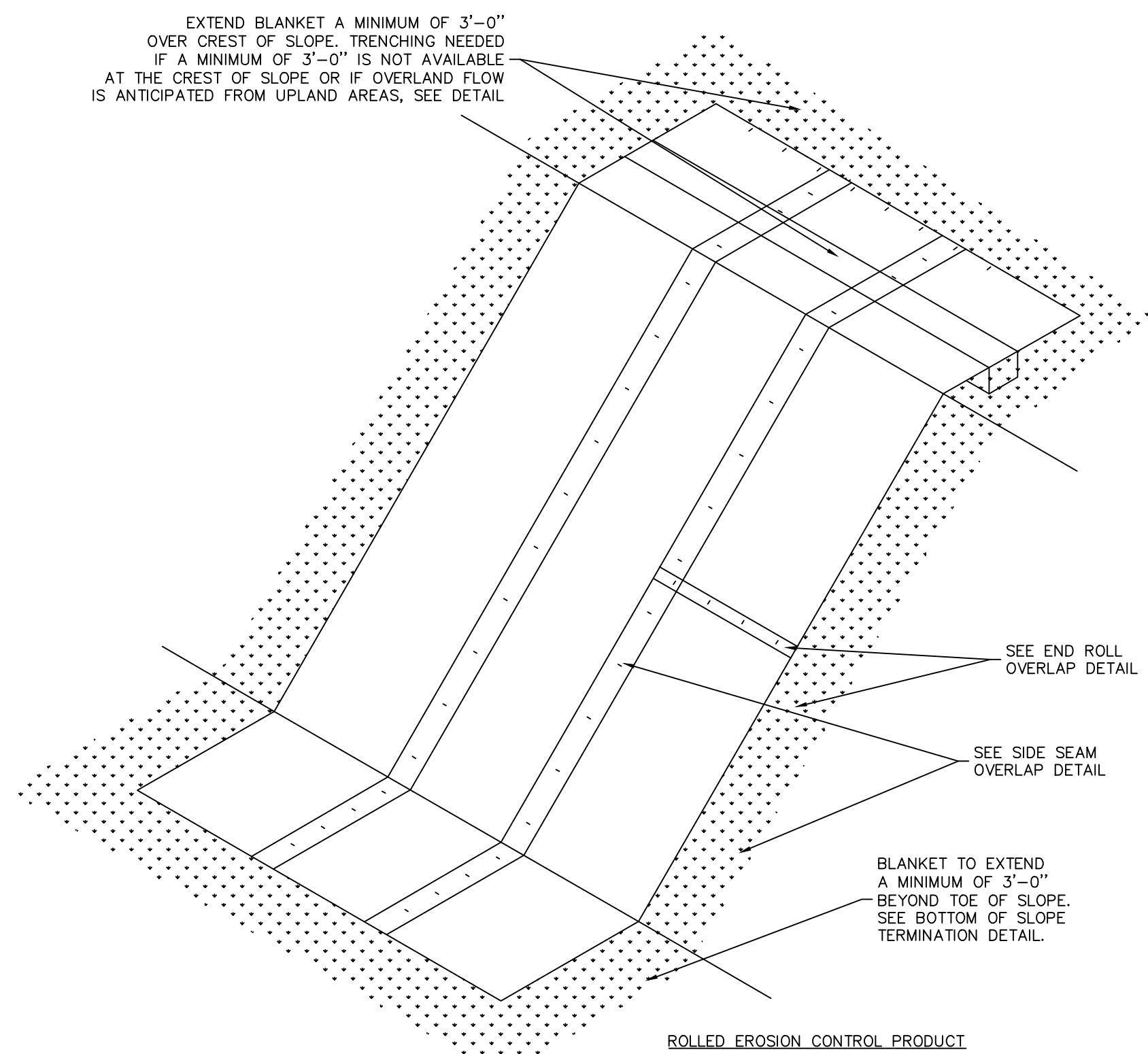
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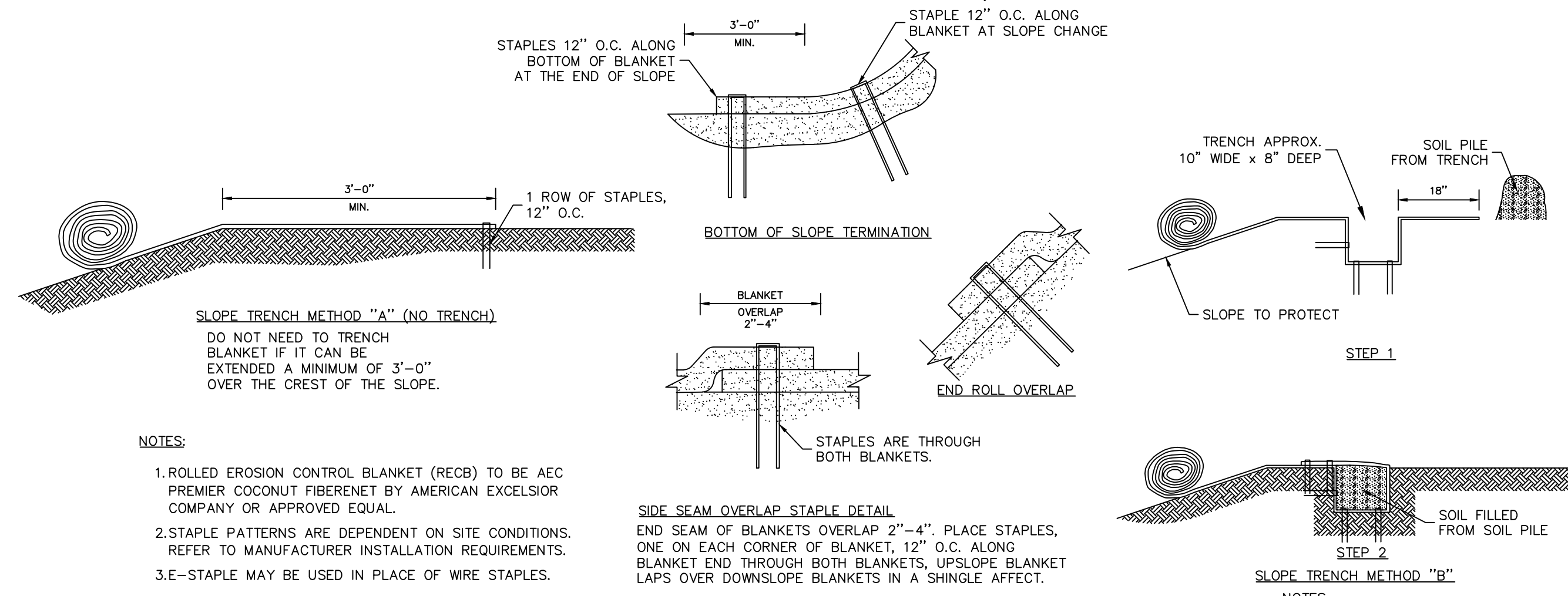
SILT FENCE
NOT TO SCALE

- CONSTRUCTION SPECIFICATIONS:**
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER "T" OR "U" TYPE, OR HARDWOOD.
 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL WOVEN WIRE, 14 GAUGE, 6" MAXIMUM MESH OPENING.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED.
 4. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
 5. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT THAT MEETS THE MINIMUM REQUIREMENTS SHOWN.
 6. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

- DETAIL NOTES:**
1. INSTALLATION SHALL BE DONE IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL ("THE BLUE BOOK").
 2. ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE DISTURBED AREA IS POSSIBLE, BUT AT LEAST 10 FEET FROM THE TOE OF A SLOPE STEEPER THAN 3H:1V, TO ALLOW FOR MAINTENANCE AND ROLL DOWN. THE AREA BEYOND THE FENCE MUST BE UNDISTURBED OR STABILIZED.
 3. THE TYPE OF SILT FENCE SPECIFIED FOR EACH LOCATION ON THE PLAN SHALL NOT EXCEED THE MAXIMUM SLOPE LENGTH AND MAXIMUM FENCE LENGTH REQUIREMENTS SHOWN IN THE TABLE BELOW. IF A TYPE SILT FENCE IS NOT SPECIFIED ON THE PLANS, THE CRITERIA FOR STANDARD SILT FENCE CAN BE APPLIED.
 4. SILT FENCE SHALL BE REMOVED AS SOON AS THE DISTURBED AREA HAS ACHIEVED FINAL STABILIZATION.



ROLLED EROSION CONTROL PRODUCT



- NOTES:**
1. ROLLED EROSION CONTROL BLANKET (RECB) TO BE AEC PREMIER COCONUT FIBER NET BY AMERICAN EXCELSIOR COMPANY OR APPROVED EQUAL.
 2. STAPLE PATTERNS ARE DEPENDENT ON SITE CONDITIONS. REFER TO MANUFACTURER INSTALLATION REQUIREMENTS.
 3. E-STAPLE MAY BE USED IN PLACE OF WIRE STAPLES.

SIDE SEAM OVERLAP STAPLE DETAIL
END SEAM OF BLANKETS OVERLAP 2"-4". PLACE STAPLES, ONE ON EACH CORNER OF BLANKET, 12" O.C. ALONG BLANKET END THROUGH BOTH BLANKETS, UPSLOPE BLANKET LAPS OVER DOWNSLOPE BLANKETS IN A SHINGLE AFFECT.

ROLLED EROSION CONTROL PRODUCT - SLOPE INSTALLATION
NOT TO SCALE

- NOTES:**
1. A SLOPE STABILIZATION BLANKET WILL BE USED ON ALL 2:1 SLOPES.

REV.	BY	DATE	DESCRIPTION

THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

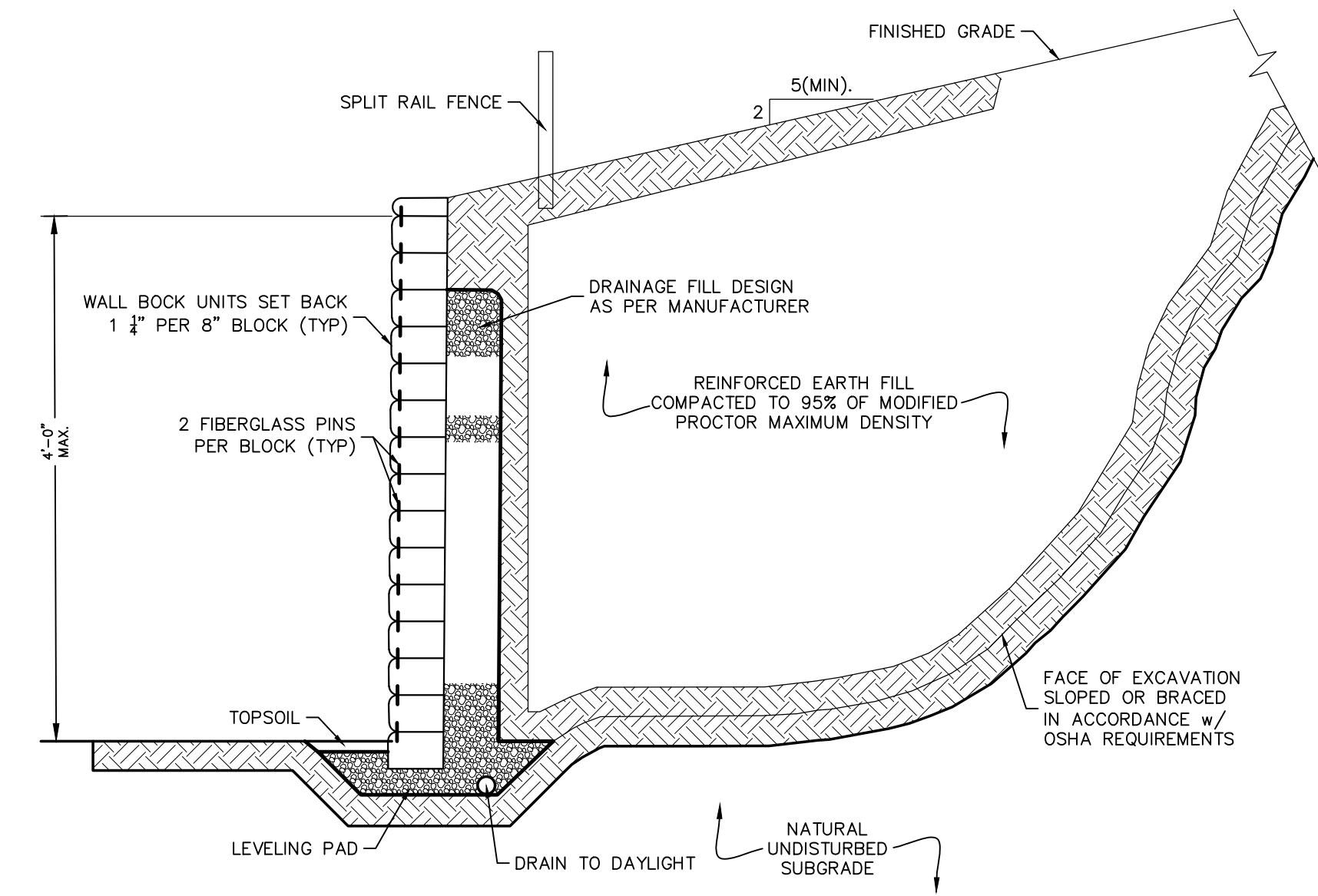
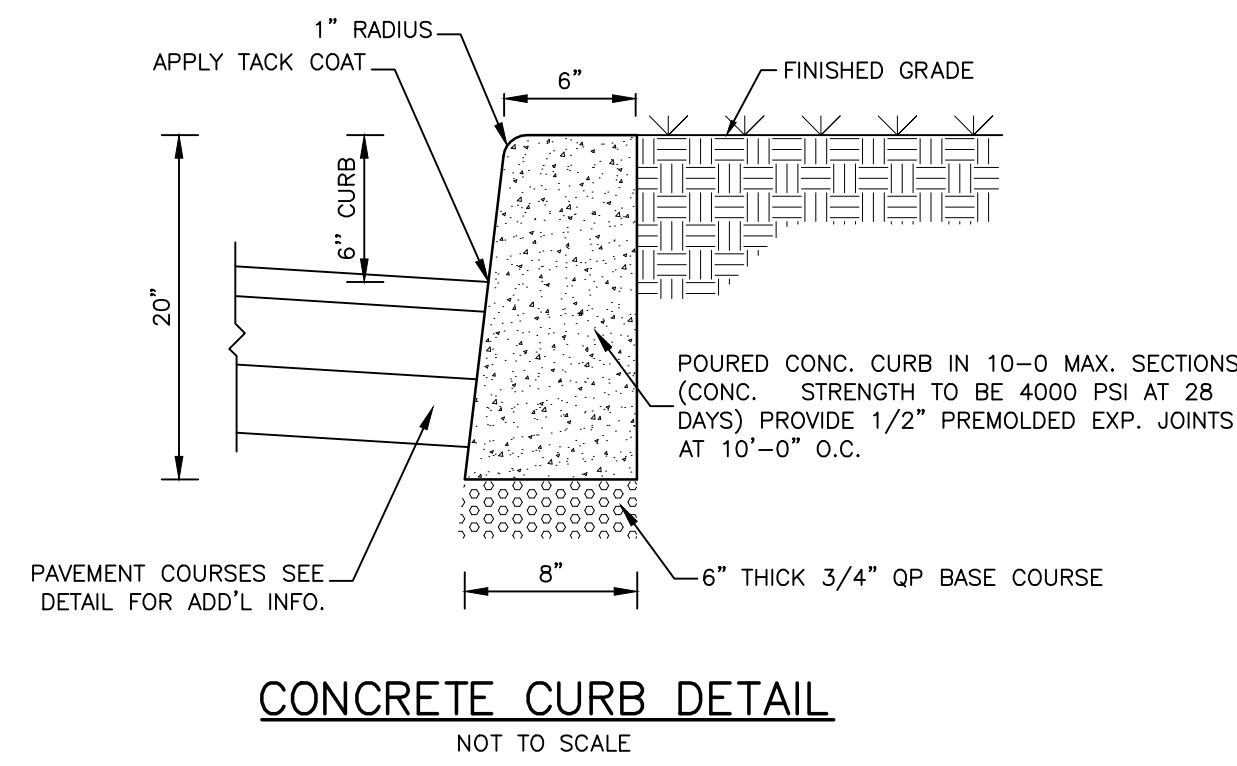
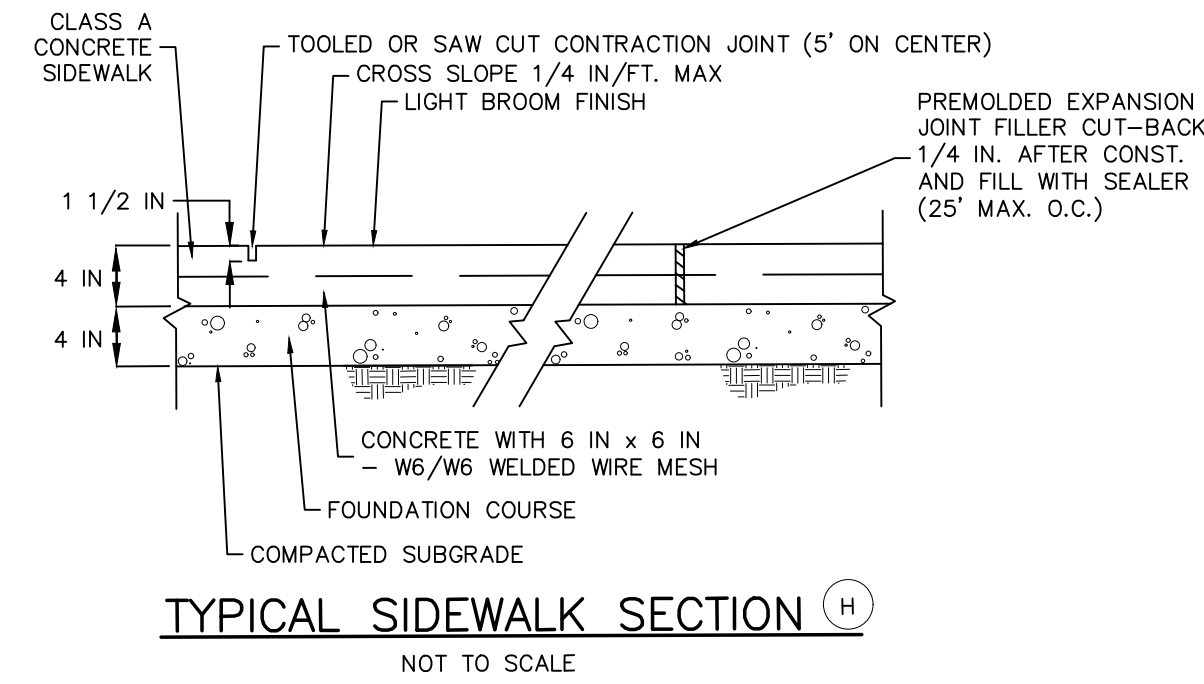
ARDEN CONSULTING ENGINEERS, PLLC
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SITE PLAN & SUBDIVISION PREPARED FOR
2 & 4 MICHAEL COURT
VILLAGE OF SOUTH BLOOMING GROVE
ORANGE COUNTY, NEW YORK

EROSION AND SEDIMENT CONTROL DETAILS

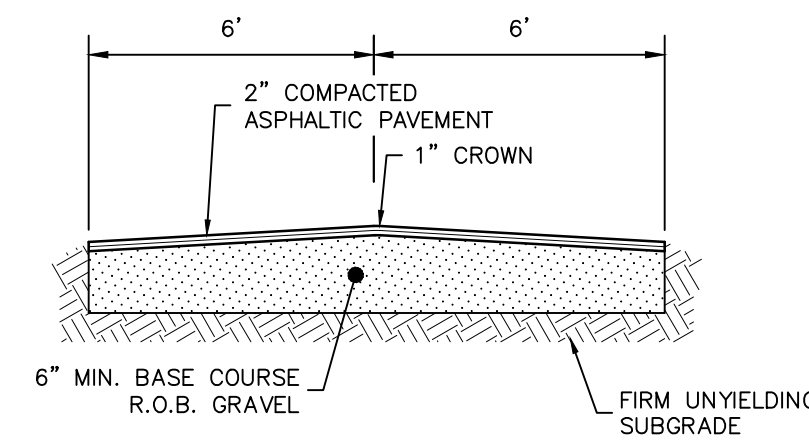
JOB#: 22-020
SCALE: AS NOTED
DATE: 07-05-22
DRAWN: MM
CHECKED: MM
SHEET NO: 07 of 08

MICHAEL A. MORGANTE, P.E.
LIC. NO. 78577



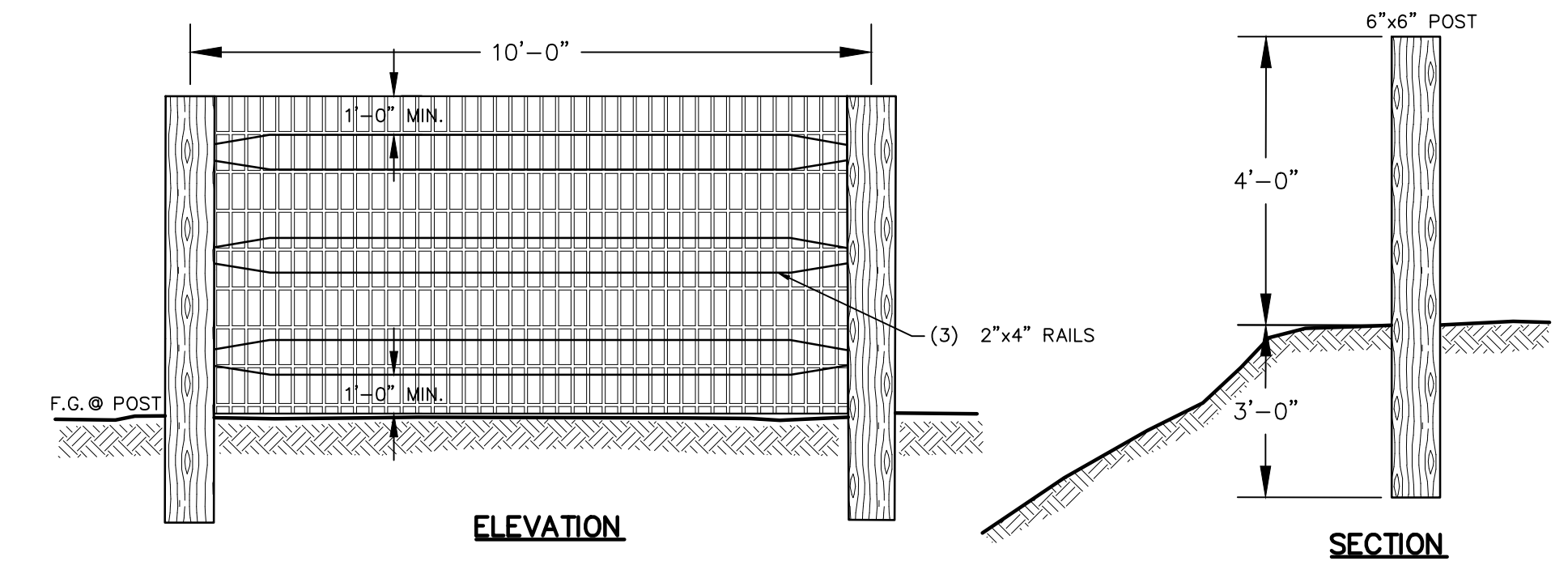
- NOTES:
1. PROPOSED KEYSTONE KS HALF CENTURY RETAINING WALL SHALL BE DESIGNED AS PER THE MANUFACTURER.
 2. FENCING SHALL BE INSTALLED AS SHOWN ON THE PLANS, IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 3. COLORS TO MATCH FOUNDATION STONE.
 4. FOR WALLS OVER 4'-0" HEIGHT SEE SPECIFIC ENGINEERED WALL DETAILS PREPARED BY OTHERS.

TYPICAL MSE RETAINING WALL
NOT TO SCALE



- NOTES:
1. DRIVEWAYS SHALL BE CONSTRUCTED WITH A GRADE NO MORE THAN 1-INCH PER FOOT FROM THE CURB TO THE RIGHT OF WAY LINE.
 2. ALL DRIVEWAYS SHALL HAVE A MIN. 6" ROB GRAVEL FOUNDATION COURSE FROM THE CURB TO THE R.O.W. LINE AND NO LESS THAN 2-INCHES OF BITUMINOUS PENETRATION MACADAM WEARING COURSE FROM THE CURB OR STREET PAVEMENT LINE WHICH SHALL BE APPLIED DURING OR AFTER THE LAYING OF THE STREET PAVEMENT.
 3. THE HIGHWAY SUPERINTENDENT SHALL INSPECT THE DRIVEWAY APRON GRADING PRIOR TO ANY PAVING.

DRIVEWAY DETAIL
NOT TO SCALE



- NOTES:
1. THREE POST SPLIT RAIL RUSTIC FENCE TO BE CEDAR.
 2. 2"x4" x 14 GAUGE PVC BLACK VINYL COATED WELDED WIRE FENCE TO BE ATTACHED TO INTERIOR OF SPLIT RAIL FENCING.
 3. ALL FENCING TO BE INSTALLED WITH WELDED WIRE FENCE AROUND STORMWATER MANAGEMENT FACILITIES, ALONG RETAINING WALLS AND AROUND AREAS AS INDICATED ON PLAN.

SPLIT POST FENCE DETAIL
NOT TO SCALE

REV.	BY	DATE	DESCRIPTION

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SHEET NO. 08 of 08

CONSTRUCTION DETAILS

MICHAEL A. MORGANTE, P.E.
LIC. NO. 78577

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