

PROJECT:
**CONGREGATION HABONES INC.
PROSPECT ROAD SCHOOL**
VILLAGE OF SOUTH BLOOMING GROVE
ORANGE COUNTY, NEW YORK



PROJECT LOCATION

APPLICANT:
CONGREGATION HABONES INC.
P.O. BOX 524
MONROE, NY 10949
845-662-2706

SURVEYOR:
CV ASSOCIATES
148 ROUTE 17M
HARRIMAN, NY 10926

REV	DESCRIPTION	BY	DATE

SEAL:

STUART STROW P.E.
N.Y. LIC. NO. 66876

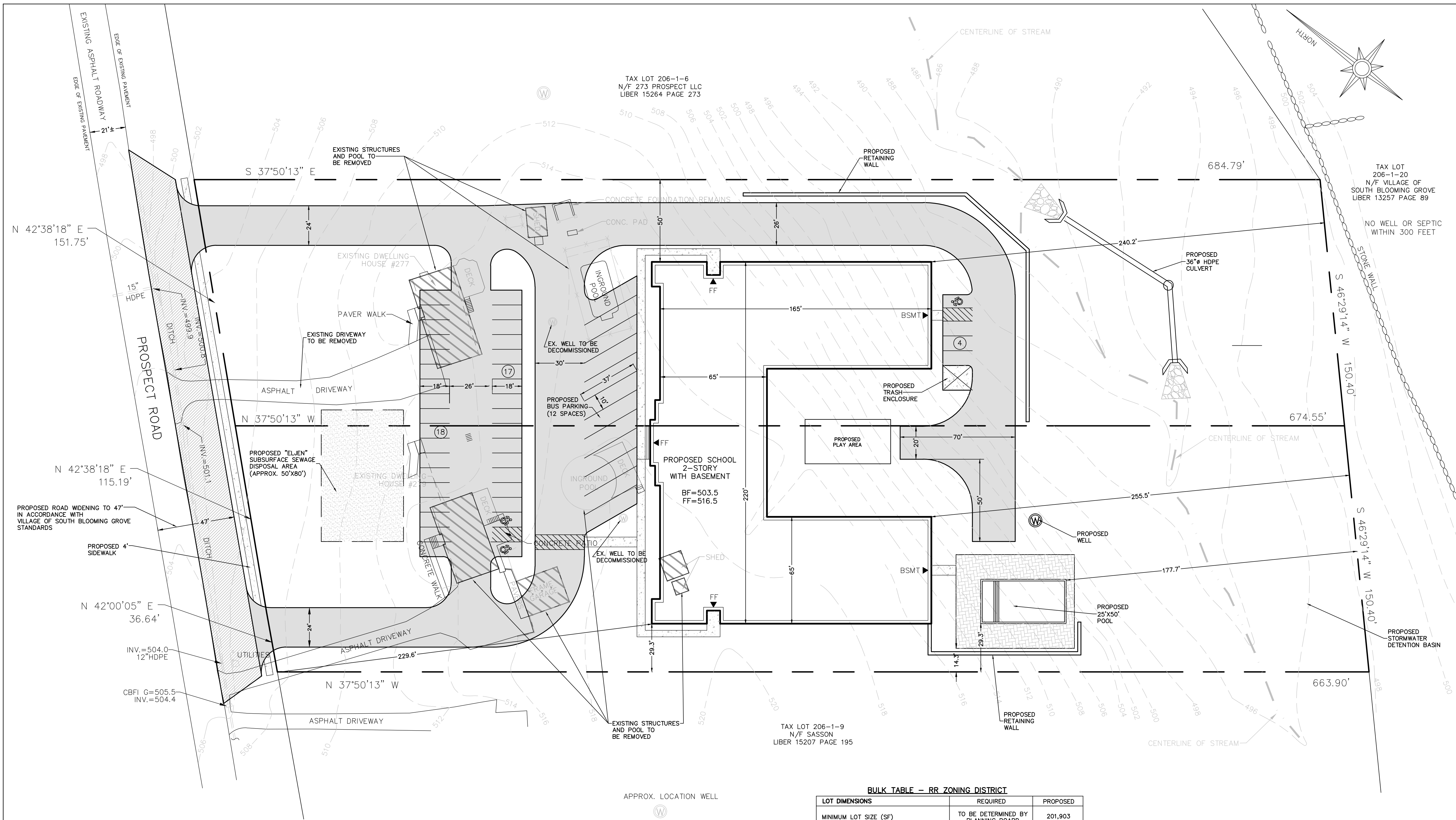
DISCLAIMER:
UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION
OF THE N.Y.S. EDUCATION LAW, ARTICLE 145, SECTION 1209, SUBSECTION 2.

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**CONGREGATION HABONES INC.
PROSPECT ROAD SCHOOL**

SCALE:
0 30' 60'

SHEET TITLE:

DRAWN BY: SS CHECKED BY: SS
DATE: 5.16.23 PROJECT NO: 2314
SHEET NUMBER:



PARKING CALCULATION TABLE

USE	REQUIREMENT	CALCULATION	SPACES REQUIRED
SCHOOL	TO BE DETERMINED BY PLANNING BOARD	TO BE DETERMINED	TO BE DETERMINED
TOTAL SPACES REQUIRED			TO BE DETERMINED
TOTAL SPACES PROVIDED			39 SPACES

BULK TABLE - RR ZONING DISTRICT

LOT DIMENSIONS	REQUIRED	PROPOSED
MINIMUM LOT SIZE (SF)	TO BE DETERMINED BY PLANNING BOARD	201,903
MINIMUM FRONTAGE (FEET)	TO BE DETERMINED BY PLANNING BOARD	303.6
MAXIMUM BUILDING COVERAGE (%)	TO BE DETERMINED BY PLANNING BOARD	13.5
PRIMARY STRUCTURE		
MINIMUM FRONT YARD SETBACK (FEET)	TO BE DETERMINED BY PLANNING BOARD	229.6
MINIMUM SIDE YARD (FEET)	TO BE DETERMINED BY PLANNING BOARD	29.3
MINIMUM REAR YARD SETBACK (FEET)	TO BE DETERMINED BY PLANNING BOARD	240.2
MAXIMUM HEIGHT (IN STORIES)	2	2
MAXIMUM HEIGHT (IN FEET)	35	35
ACCESSORY STRUCTURE		
MINIMUM SIDE YARD (FEET)	10	29.3
MINIMUM REAR YARD SETBACK (FEET)	10	177.7
MAXIMUM HEIGHT (IN STORIES)	2	NA
MAXIMUM HEIGHT (IN FEET)	20	NA

- NOTES:**
- THIS PROPERTY IS COMPRISED OF TAX LOTS 206-1-7 AND 206-1-8 AS SHOWN ON THE VILLAGE OF SOUTH BLOOMING GROVE TAX MAP.
 - TOTAL AREA= 4.63 AC (201,903 SF)
 - ZONE: RR (RURAL RESIDENTIAL).
 - PROPOSED USE: PRIVATE SCHOOL.
 - THE PROPOSED USE OF THE PROPERTY AS A PRIVATE SCHOOL IS SUBJECT TO A SPECIAL PERMIT FROM THE VILLAGE OF SOUTH BLOOMING GROVE VILLAGE BOARD.
 - THIS PLAN IS BASED ON A BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY DARREN J. STRIDIRON, P.L.S. DATED SEPTEMBER 13, 2022.
 - ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND.
 - CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION.
 - ELECTRIC, GAS, WATER AND SANITARY SEWER UTILITIES SHALL BE COORDINATED WITH THE LOCAL UTILITY PROVIDER PRIOR TO CONSTRUCTION.
 - OWNER AND CONTRACTOR ARE RESPONSIBLE TO OBTAIN ALL REQUIRED PERMITS AND APPROVALS FROM ALL JURISDICTIONAL AGENCIES PRIOR TO CONSTRUCTION.