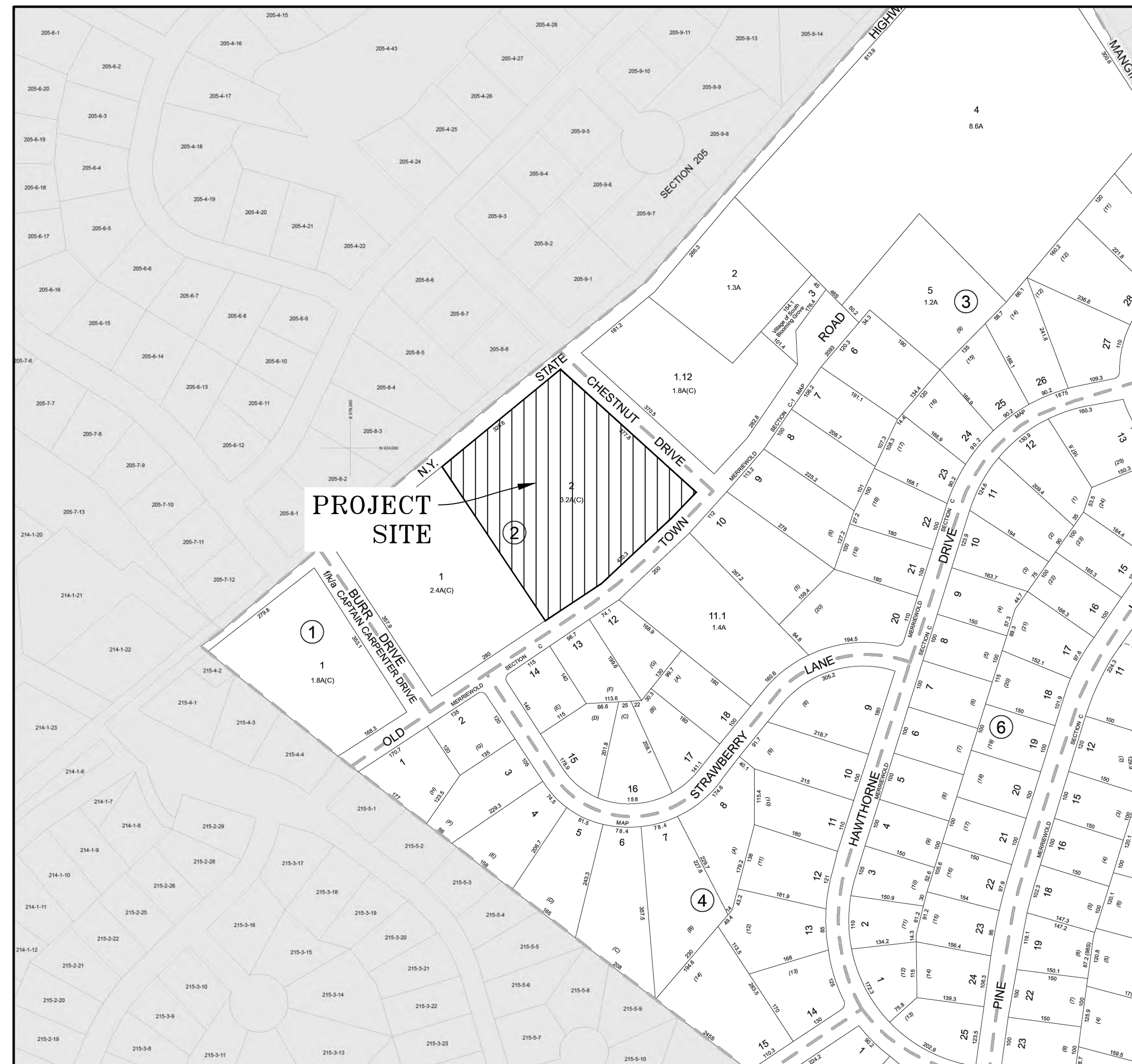


SITE PLAN & SUBDIVISION FOR ROUTE 208 & CHESTNUT DRIVE VILLAGE OF SOUTH BLOOMING GROVE, ORANGE COUNTY, NEW YORK



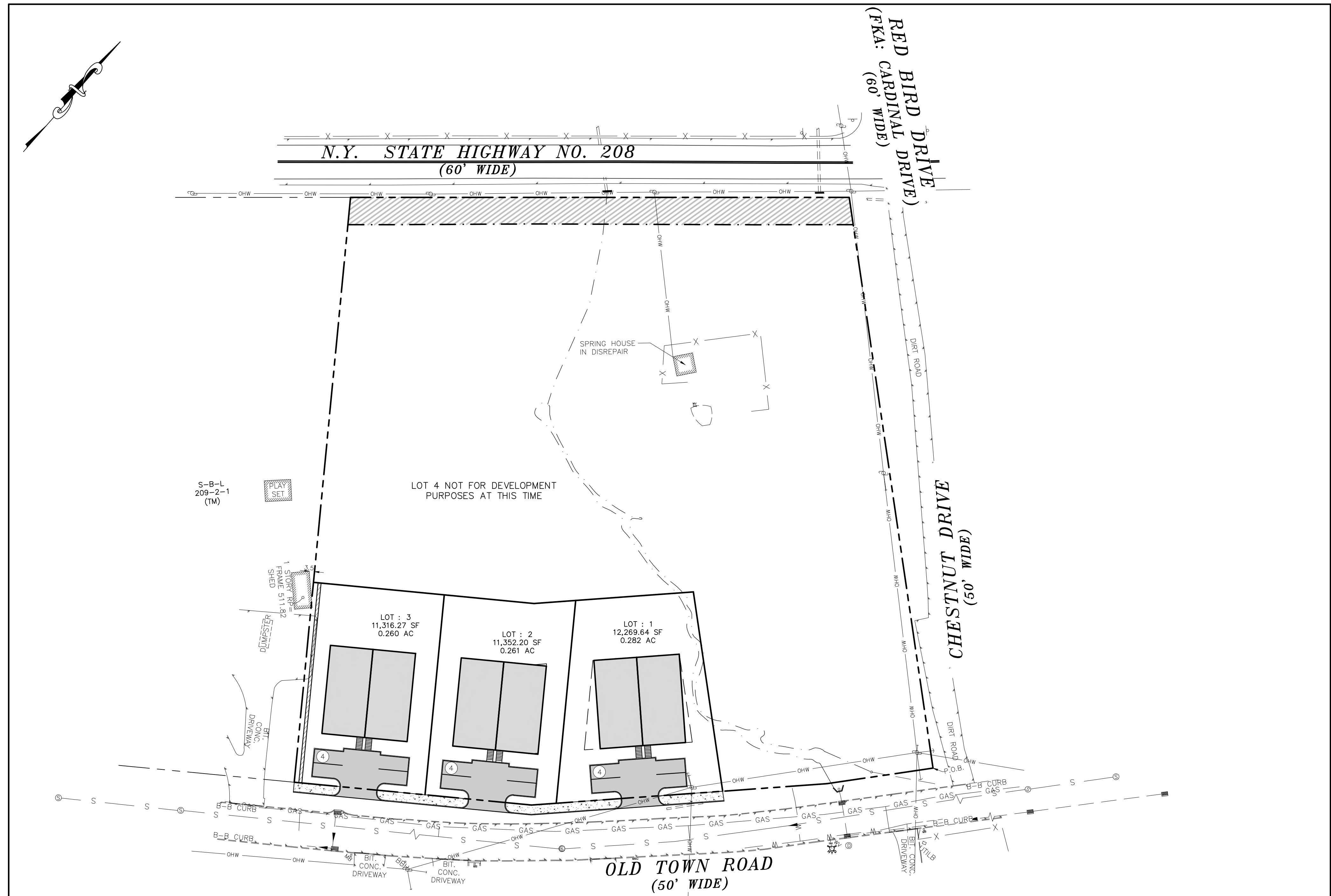
LOCATION MAP
SCALE: 1"=200'

GENERAL NOTES:

1. RECORD OWNER & APPLICANT:
YOEL WAGSCHAL
14 TARAMAR LN
WASHINGTONVILLE NY 10992
2. PROPERTY ADDRESS:
RTE 208 & CHESTNUT DR,
VILLAGE OF SOUTH BLOOMING GROVE,
ORANGE COUNTY, NEW YORK
3. TAX MAP NUMBER:
SECTION 209, BLOCK 2, LOT 2
4. DEED REFERENCE:
LIBER 13005, PAGE 577
5. PARCEL AREA/SIZE: 3.336 ACRES

DRAWING LIST

SHEET #	SHEET TITLE	ORIGINAL DATE / LAST REVISED DATE
01 OF 04	TITLE SHEET	02-23-24 /
02 OF 04	EXISTING CONDITIONS PLAN	02-23-24 /
03 OF 04	PROPOSED SUBDIVISION PLAN	02-23-24 /
04 OF 04	GRADING & UTILITY PLAN	02-23-24 /



TITLE SHEET
SCALE: 1"=40'

REV.	BY	DATE	DESCRIPTION

THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

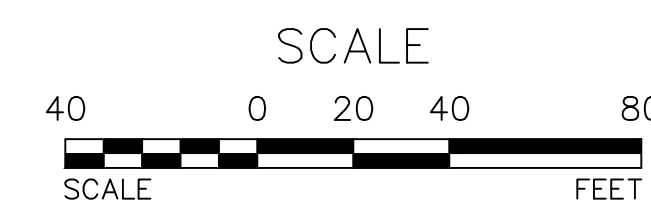
ARDEN CONSULTING ENGINEERS, PLLC
P.O. BOX 340 MONROE, N.Y.
TEL: (845) 782-8114
WWW.ARDENCONSULTING.NET



SITE PLAN & SUBDIVISION FOR
ROUTE 208 & CHESTNUT DRIVE
VILLAGE OF SOUTH BLOOMING GROVE
COUNTY OF ORANGE, NEW YORK

JOB#: 24-010
SCALE: AS NOTED
DATE: 02-23-24
DRAWN: MM
CHECKED: MM
SHEET NO. 01 of 04

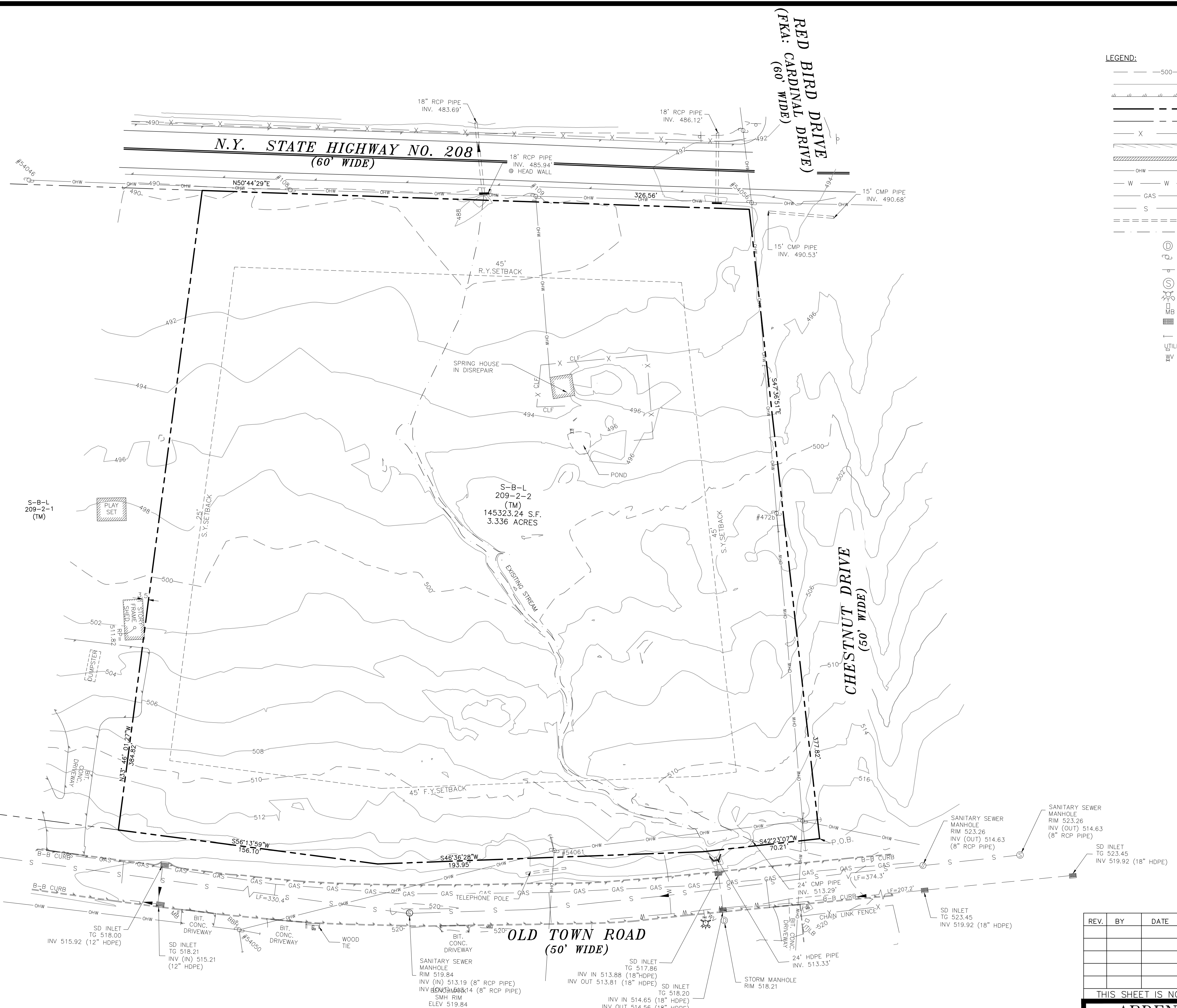
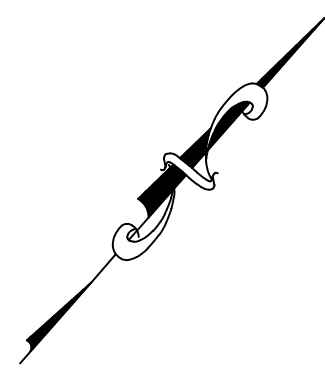
TITLE SHEET



WARNING- IT IS A VIOLATION OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2

ONLY MAPS WITH EMBOSSED SEALS ARE GENUINE COPIES OF THE ORIGINAL WORK AND OPINION. MAPS NOT BEARING EMBOSSED SEALS SHOULD NOT BE RELIED UPON SINCE OTHER THAN EMBOSSED-SEAL COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS AND CHANGES.





LEGEND:

---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	EXISTING EDGE OF PAVEMENT
---	EXISTING PROPERTY LINE
---	EXISTING ADJACENT PROPERTY LINE
X X	EXISTING CHAIN LINK FENCE
---	EXISTING BUILDING
---	EXISTING DEPRESSED CURB
OHW	EXISTING OVERHEAD LINE
W W W	EXISTING WATER LINE
GAS GAS	EXISTING GAS LINE
S S	EXISTING SEWER LINE
---	EXISTING PIPE DRAINAGE
---	EXISTING STREAM
⊙	EXISTING STORM MANHOLE
⊙	EXISTING POLE
⊙	EXISTING SIGN
⊙	EXISTING SEWER MANHOLE
⊙	EXISTING FIRE HYDRANT
⊙	EXISTING MAIL BOX
⊙	EXISTING INLET
⊙	EXISTING GUY WIRE
⊙	EXISTING UTILITY BOX
⊙	EXISTING WATER VALVE

REV.	BY	DATE	DESCRIPTION

THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

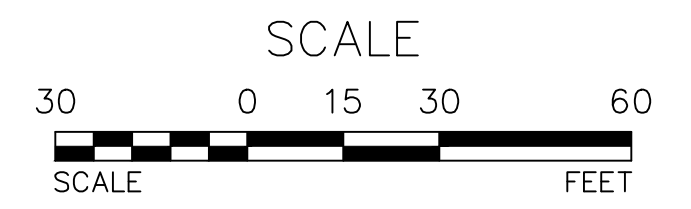
ARDEN CONSULTING ENGINEERS, PLLC
P.O. BOX 340 MONROE, N.Y.
TEL: (845) 782-8114
WWW.ARDENCONSULTING.NET

SITE PLAN & SUBDIVISION FOR
ROUTE 208 & CHESTNUT DRIVE
VILLAGE OF SOUTH BLOOMING GROVE
COUNTY OF ORANGE, NEW YORK

EXISTING CONDITIONS PLAN

JOB#: 24-010
SCALE: AS NOTED
DATE: 02-23-24
DRAWN: MM
CHECKED: MM
SHEET NO. 02 of 04

MICHAEL A. MORGANTE, P.E.
LIC. NO. 78577

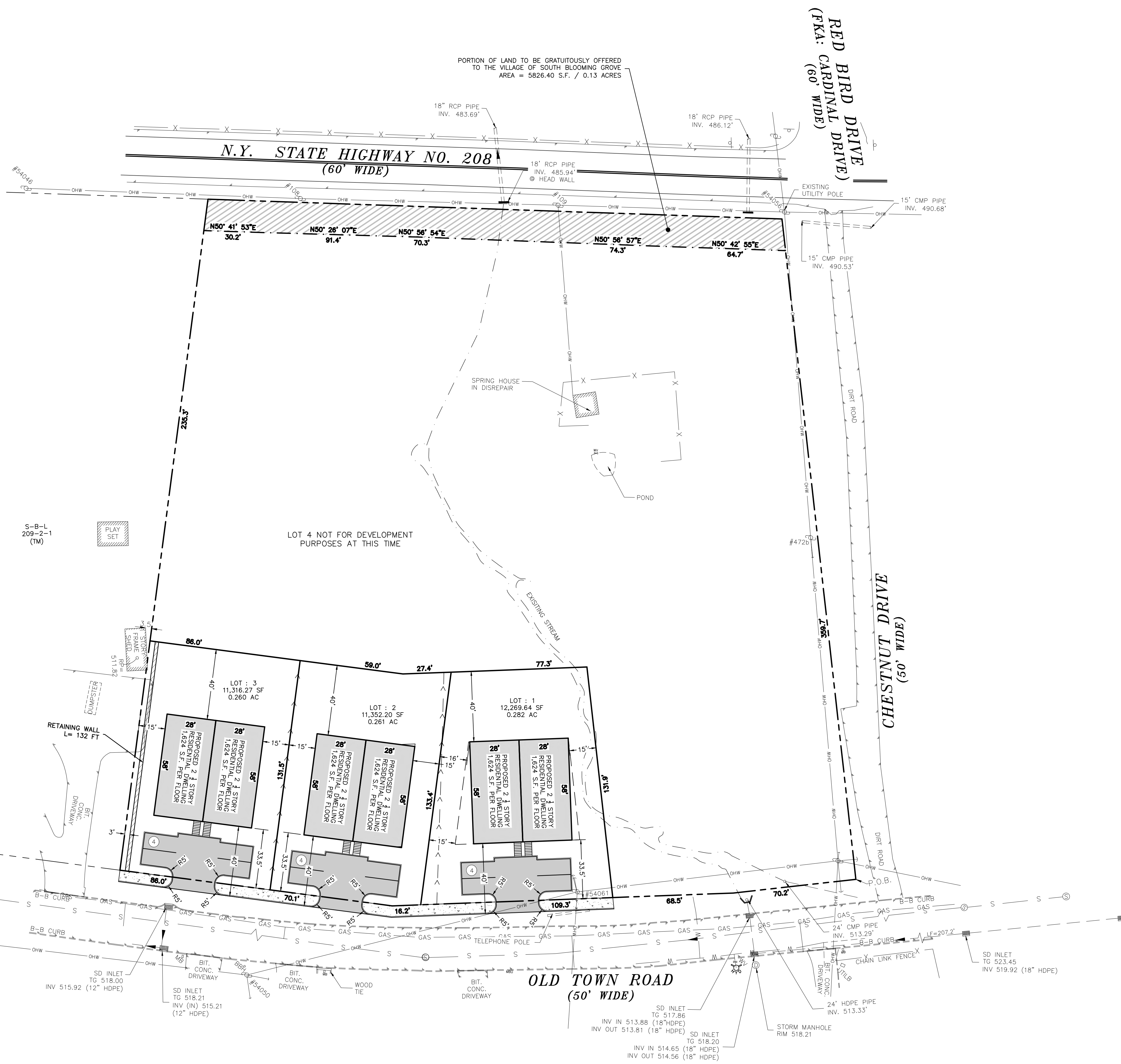
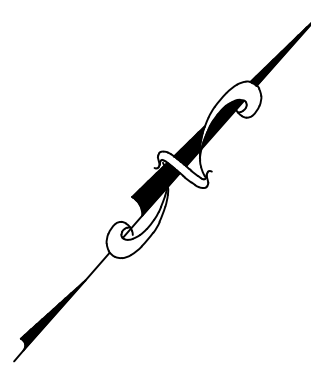


EXISTING CONDITIONS PLAN
SCALE: 1"=30'

WARNING- IT IS A VIOLATION OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2

ONLY MAPS WITH EMBOSSED SEALS ARE GENUINE COPIES OF THE ORIGINAL WORK AND OPINION. MAPS NOT BEARING EMBOSSED SEALS SHOULD NOT BE RELIED UPON SINCE OTHER THAN EMBOSSED-SEAL COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS AND CHANGES.





LEGEND:

- EXISTING EDGE OF PAVEMENT
- EXISTING ADJACENT PROPERTY LINE
- EXISTING CHAIN LINK FENCE
- EXISTING BUILDING
- EXISTING DEPRESSED CURB
- EXISTING OVERHEAD LINE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING SEWER LINE
- EXISTING PIPE DRAINAGE
- EXISTING STORM MANHOLE
- EXISTING POLE
- EXISTING SIGN
- EXISTING SEWER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING MAIL BOX
- EXISTING INLET
- EXISTING GUY WIRE
- EXISTING UTILITY BOX
- EXISTING WATER VALVE
- PROPOSED SETBACK
- PROPOSED PROPERTY LINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED SIDEWALK
- PROPOSED WALL

BULK REQUIREMENTS - ZONING DISTRICT: RR (RESIDENCE)

	REQUIRED	LOT 1	LOT 2	LOT 3	LOT 4
MIN. LOT AREA (GROSS)	12,000 SF	12,270 SF	11,352	11,316 SF	104,559 SF
MIN. LOT AREA (NET)	10,000 SF	12,270 SF	11,352	11,316 SF	104,559 SF
MINIMUM FRONTAGE	*	109.3 SF	86.3 FT	86.0 FT	*
MAXIMUM BUILDING COVERAGE	*	26.47%	28.61%	28.70%	*
MIN. FRONT YARD SETBACK	*	33.5 FT	33.5 FT	33.5 FT	*
MIN. REAR YARD SETBACK	*	40 FT	40 FT	40 FT	*
MIN. SIDE YARD SETBACK	*	16 FT	15 FT	15 FT	*
MAX. HEIGHT (FEET)	35 FT	35 FT	35 FT	35 FT	35 FT
MAX. HEIGHT (STORIES)	2 STORIES	2 STORIES	2 STORIES	2 STORIES	2 STORIES

* DETERMINED DURING THE SUBDIVISION PROCESS BY THE PLANNING BOARD

REV.	BY	DATE	DESCRIPTION

THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

ARDEN CONSULTING ENGINEERS, PLLC
 P.O. BOX 340 MONROE, N.Y.
 TEL: (845) 782-8114
 WWW.ARDENCONSULTING.NET

SITE PLAN & SUBDIVISION FOR
ROUTE 208 & CHESTNUT DRIVE
 VILLAGE OF SOUTH BLOOMING GROVE
 COUNTY OF ORANGE, NEW YORK

PROPOSED SUBDIVISION PLAN

JOB#: 24-010
 SCALE: AS NOTED
 DATE: 02-23-24
 DRAWN: MM
 CHECKED: MM
 SHEET NO. 03 of 04

MICHAEL A. MORGANTE, P.E.
 Lic. No. 78577

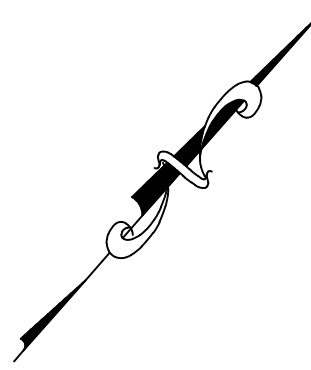


PROPOSED SUBDIVISION PLAN
 SCALE: 1"=30'

WARNING- IT IS A VIOLATION OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2

ONLY MAPS WITH EMBOSSED SEALS ARE GENUINE COPIES OF THE ORIGINAL WORK AND OPINION. MAPS NOT BEARING EMBOSSED SEALS SHOULD NOT BE RELIED UPON SINCE OTHER THAN EMBOSSED-SEAL COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS AND CHANGES.

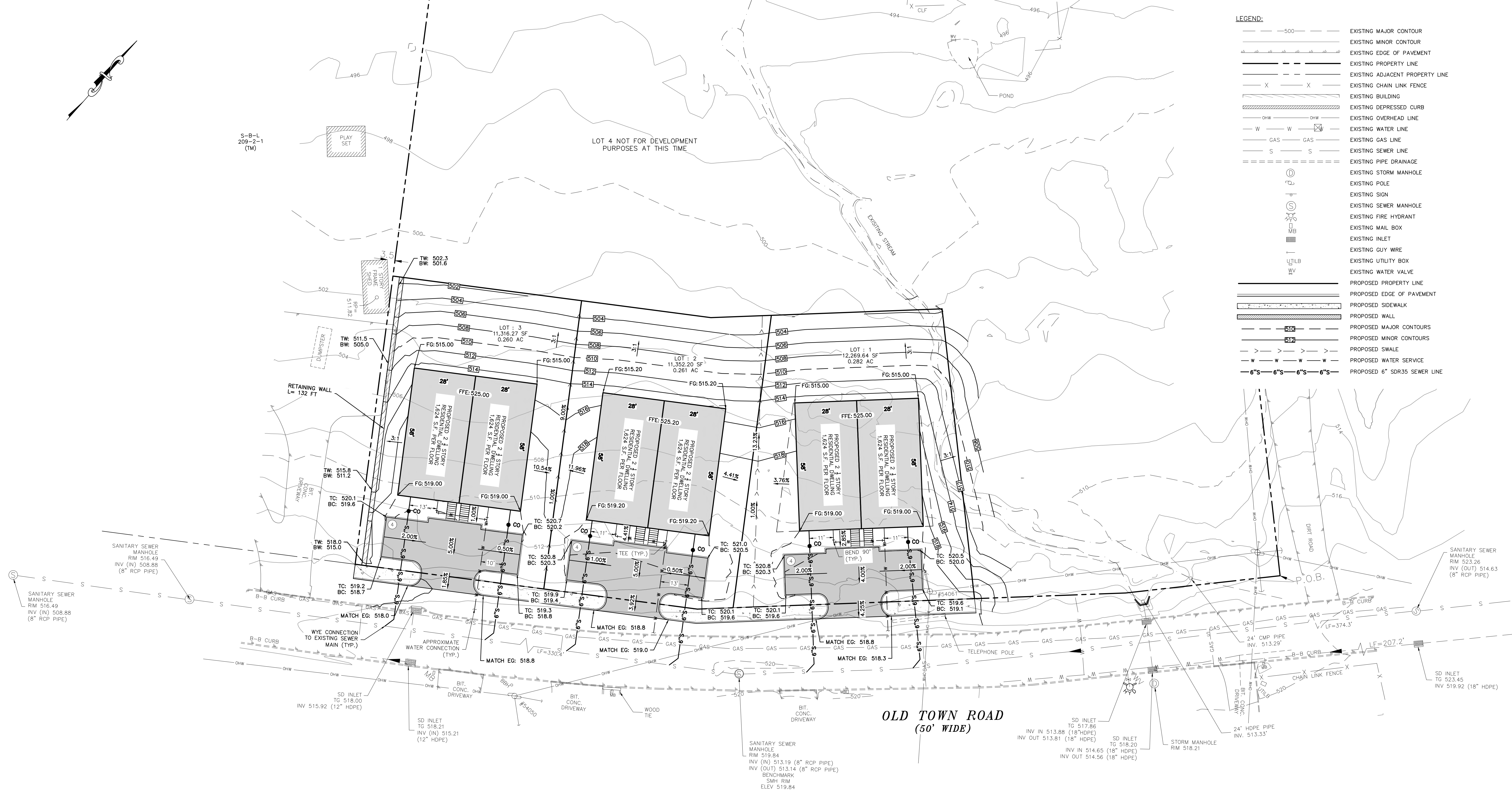




S-B-L
209-2-1
(TM)

LOT 4 NOT FOR DEVELOPMENT
PURPOSES AT THIS TIME

- LEGEND:**
- 500 EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING EDGE OF PAVEMENT
 - EXISTING PROPERTY LINE
 - EXISTING ADJACENT PROPERTY LINE
 - EXISTING CHAIN LINK FENCE
 - EXISTING BUILDING
 - EXISTING DEPRESSED CURB
 - EXISTING OVERHEAD LINE
 - EXISTING WATER LINE
 - EXISTING GAS LINE
 - EXISTING SEWER LINE
 - EXISTING PIPE DRAINAGE
 - EXISTING STORM MANHOLE
 - EXISTING POLE
 - EXISTING SIGN
 - EXISTING SEWER MANHOLE
 - EXISTING FIRE HYDRANT
 - EXISTING MAIL BOX
 - EXISTING INLET
 - EXISTING GUY WIRE
 - EXISTING UTILITY BOX
 - EXISTING WATER VALVE
 - PROPOSED PROPERTY LINE
 - PROPOSED EDGE OF PAVEMENT
 - PROPOSED SIDEWALK
 - PROPOSED WALL
 - PROPOSED MAJOR CONTOURS
 - PROPOSED MINOR CONTOURS
 - PROPOSED SWALE
 - PROPOSED WATER SERVICE
 - PROPOSED 6" SDR35 SEWER LINE



OLD TOWN ROAD
(50' WIDE)

REV.	BY	DATE	DESCRIPTION

THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

ARDEN CONSULTING ENGINEERS, PLLC
P.O. BOX 340 MONROE, N.Y.
TEL: (845) 782-8114
WWW.ARDENCONSULTING.NET

SITE PLAN & SUBDIVISION FOR
ROUTE 208 & CHESTNUT DRIVE
VILLAGE OF SOUTH BLOOMING GROVE
COUNTY OF ORANGE, NEW YORK

GRADING & UTILITY PLAN

JOB#: 24-010
SCALE: AS NOTED
DATE: 02-23-24
DRAWN: MM
CHECKED: MM
SHEET NO. 04 of 04

MICHAEL A. MORGANTE, P.E.
LIC. NO. 78577

WARNING- IT IS A VIOLATION OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2

ONLY MAPS WITH EMBOSSED SEALS ARE GENUINE COPIES OF THE ORIGINAL WORK AND OPINION. MAPS NOT BEARING EMBOSSED SEALS SHOULD NOT BE RELIED UPON SINCE OTHER THAN EMBOSSED-SEAL COPIES MAY CONTAIN UNAUTHORIZED AND UNDETECTABLE MODIFICATIONS, DELETIONS, ADDITIONS AND CHANGES.



GRADING & UTILITY PLAN
SCALE: 1"=20'

