

GENERAL NOTES

1. TAX MAP IDENTIFICATION NUMBER: SECTION 215 BLOCK 3 LOT 24
2. TOTAL AREA OF SUBJECT PARCEL: 13,600± SF.
3. BOUNDARY TAKEN FROM A SURVEY BY EDWARD T. GANNON, P.L.S. COMPLETED ON FEBRUARY, 13, 2023.
4. DESIGN OF RETAINING HANDLED BY OWNER.
5. OWNER: MANFIELD TEAM LLC
19 MANGIN RD
MONROE, NY, 10950
6. APPLICANT: INDIGO BUILDERS LLC
51 FOREST RD SUITE 316-76
VILLAGE OF SOUTH BLOOMING GROVE, NY, 10950
7. PROPOSED LOT SHALL BE SERVICED BY PUBLIC WATER AND SEWER.

BULK REQUIREMENTS

VILLAGE OF SOUTH BLOOMING GROVE - RB (RESIDENCE B DISTRICT)
USE: TWO FAMILY RESIDENCE

REQUIREMENTS	REQUIRED	PROPOSED
GROSS LOT AREA	12,000 SF	15,875 SF
FRONT YARD SETBACK	PER PLANNING BOARD	35 FEET**
REAR YARD SETBACK	PER PLANNING BOARD	20 FEET
SIDE YARD SETBACK:		
EACH YARD	PER PLANNING BOARD	15 FEET
TOTAL SIDE YARDS	PER PLANNING BOARD	30 FEET
BUILDING HEIGHT (STORIES/FEET)	2 STORIES/30 FEET	SEE ARCHITECTURAL PLAN

*BULK REQUIREMENTS DATA FROM APPLICANT.
** OR 40 FEET FROM PROPOSED CURB LINE.

No.	DATE	DESCRIPTION

DRAWING STATUS	ISSUE DATE: 07/19/2023
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	
<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A
<input type="checkbox"/> PLANNING BOARD APPROVAL	N/A OF N/A
<input type="checkbox"/> OCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> OCDOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/> OTHER	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A

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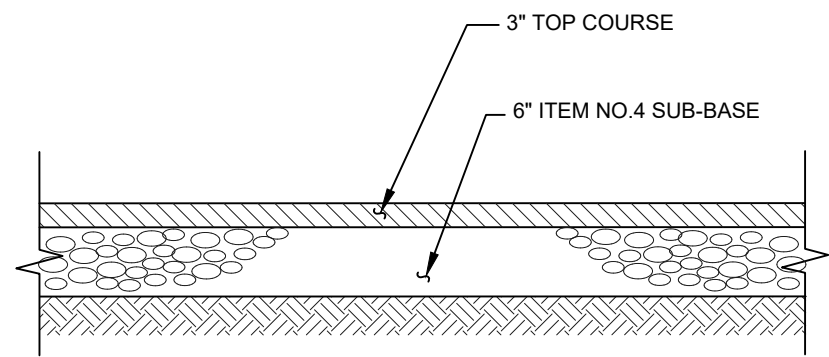
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PLOT PLAN

71 DUELK AVENUE
VILLAGE OF BLOOMING GROVE
ORANGE COUNTY, NEW YORK

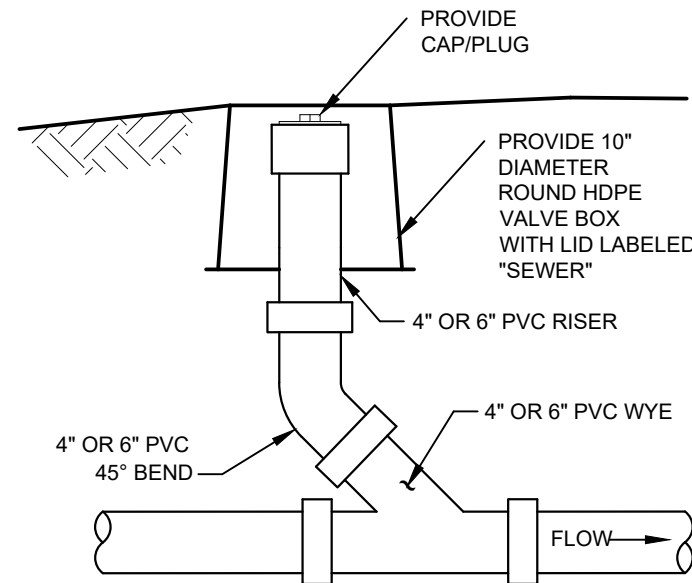
JOB #: 2075.01 DRAWN BY: KAB
DATE: 07/17/2023 SCALE: 1" = 10'
REVISION: TAX LOT: 215-5-17

C-101



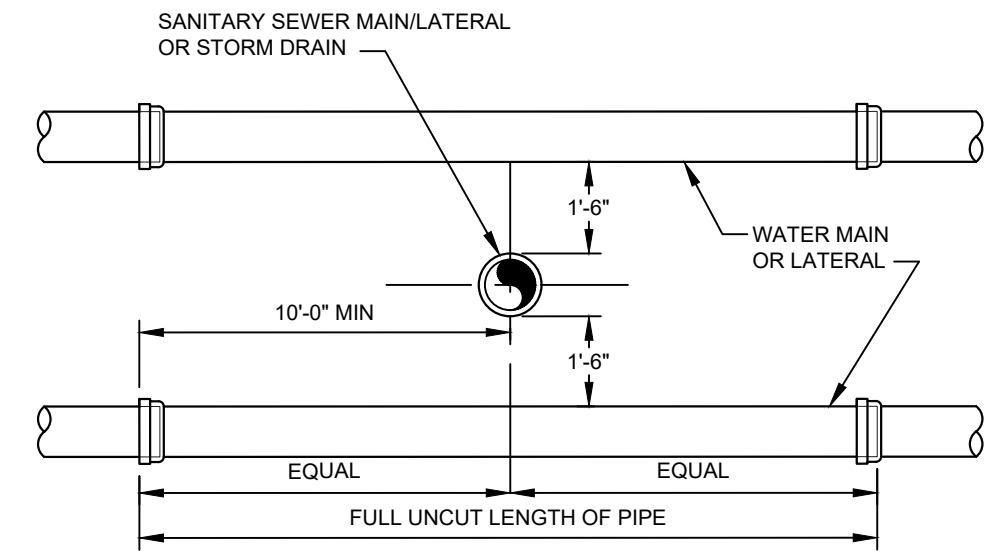
NOTES:
 1. TO BE INSTALLED IN ENTRANCE AREA ONLY.
 2. ALL SUB-GRADE AND SUB-BASE SHALL BE PROOF ROLLED PRIOR TO THE PLACEMENT OF SUBSEQUENT LIFTS.

DRIVEWAY PAVEMENT SECTION
 SCALE: 1:1

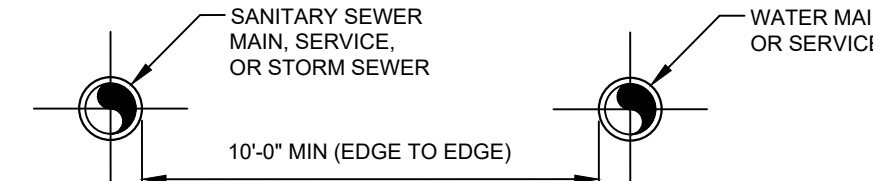


NOTES:
 1. CLEANOUTS SHALL BE SPACED AT INTERVALS NO MORE THAN 75 FEET APART.

TYPICAL CLEANOUT
 SCALE: NONE



VERTICAL SEPARATION

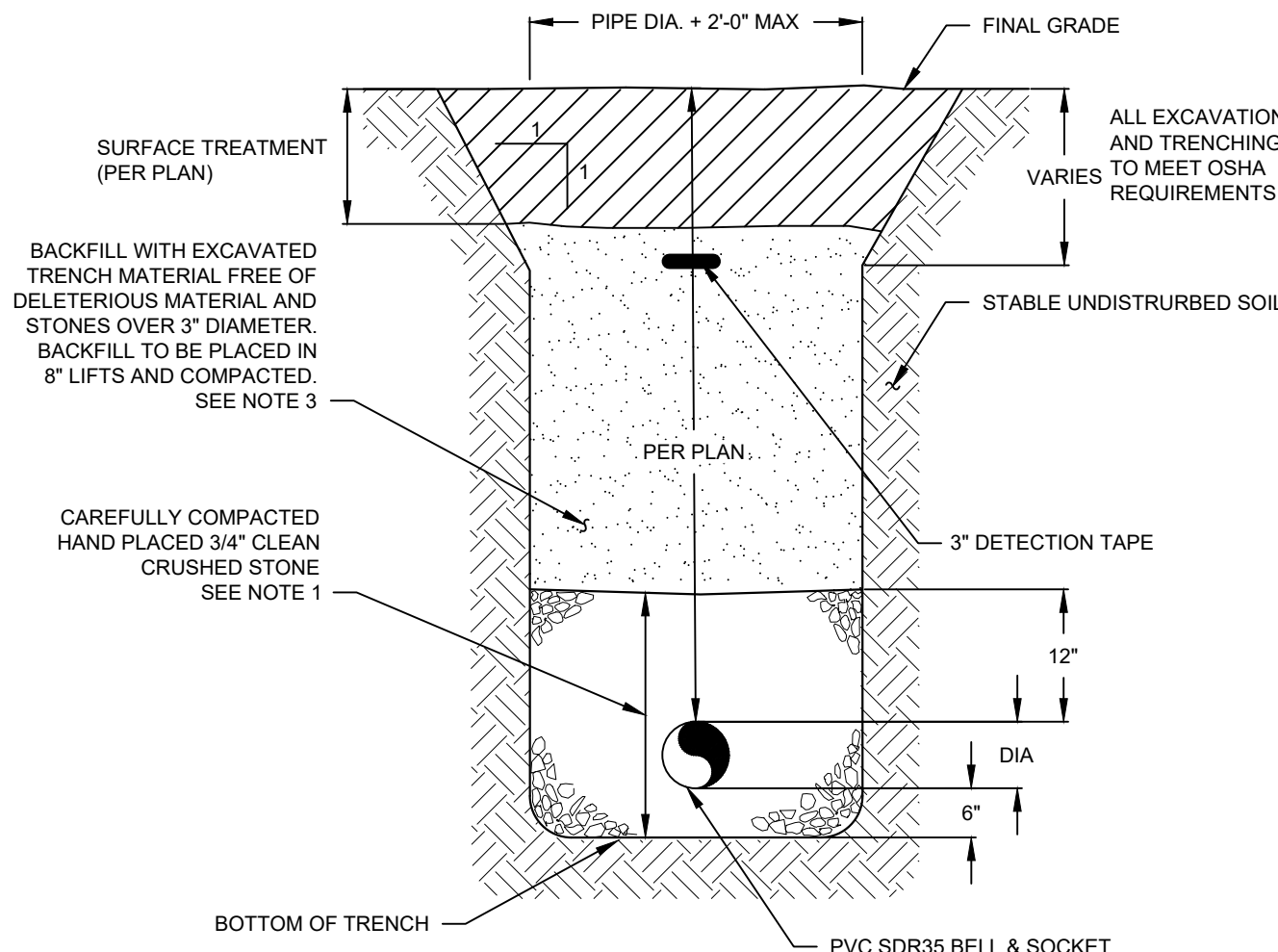


HORIZONTAL SEPARATION

NOTE:

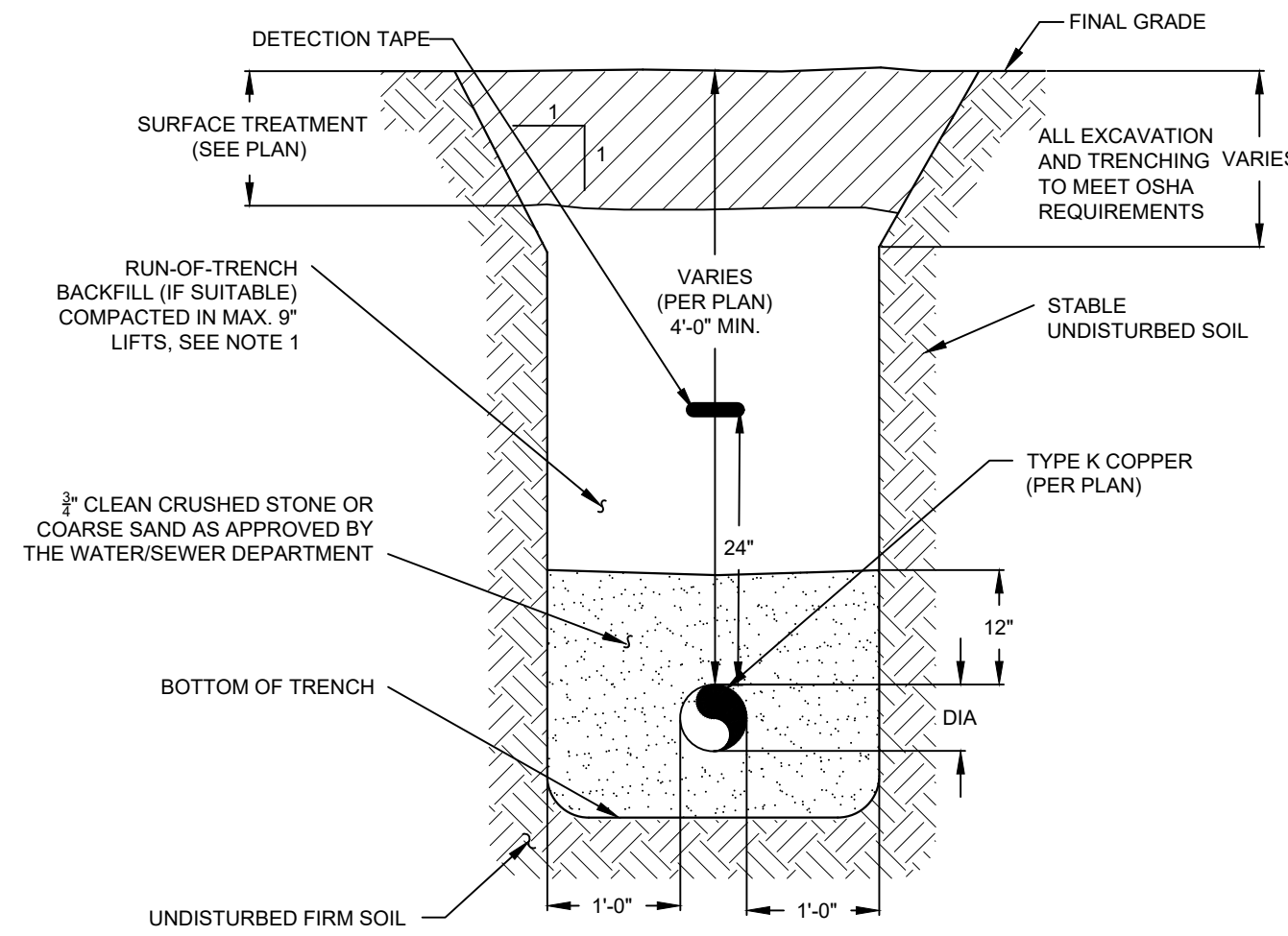
NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT APPROVAL OF THE ORANGE COUNTY DEPARTMENT OF HEALTH.

WATER/SEWER SEPARATION REQUIREMENTS
 SCALE: NTS



NOTES:
 1. ALL FILL BELOW BUILDING AND PAVEMENT TO BE COMPACTED TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.
 2. ALL SEWER MAINS SHALL BE 8" OR 10" SDR 35 PVC. ALL SEWER HEADERS SHALL BE 6" SDR 35 AND ALL SEWER LATERAL TO BE 4" SDR 35 PVC.
 3. ALL FILL BELOW BUILDINGS, PAVEMENT AREAS, SIDEWALKS, CURBS, ETC. SHALL BE WITH ITEM 4 (NYS DOT SPEC) FOR THE FULL DEPTH OF THE EXCAVATION. BACKFILL SHALL BE PLACED IN 8" MAXIMUM LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.

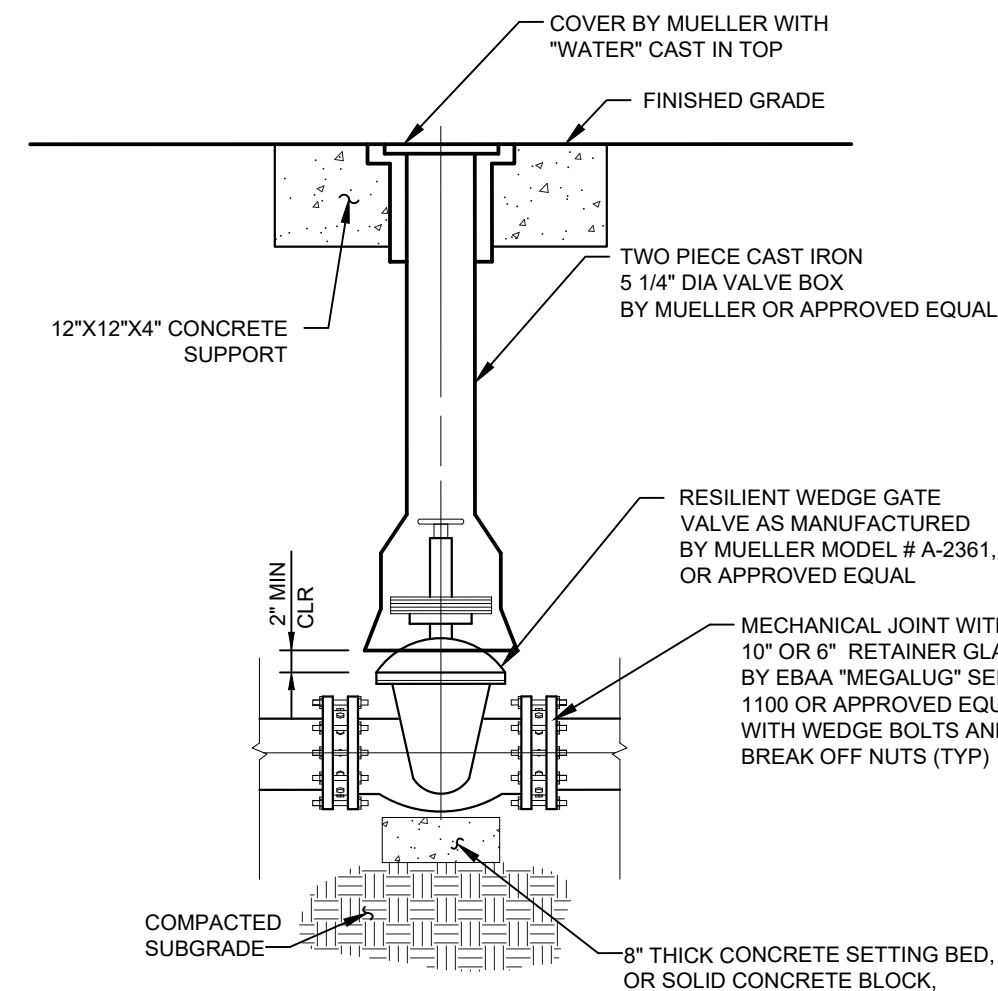
SEWER PIPE TRENCH
 SCALE: NTS



NOTES:

1. ALL FILL BELOW BUILDINGS, PAVEMENT AREAS, SIDEWALKS, CURBS, ETC. SHALL BE WITH NYSDOT ITEM 4 FOR THE FULL DEPTH OF THE EXCAVATION. BACKFILL SHALL BE PLACED IN 8" MAXIMUM LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.
 2. IF ROCK IS ENCOUNTERED DURING EXCAVATION OF THE TRENCH, THE PIPE BEDDING DEPTH SHALL BE INCREASED TO 8" BELOW THE PIPE.

WATER PIPE TRENCH
 SCALE: NTS



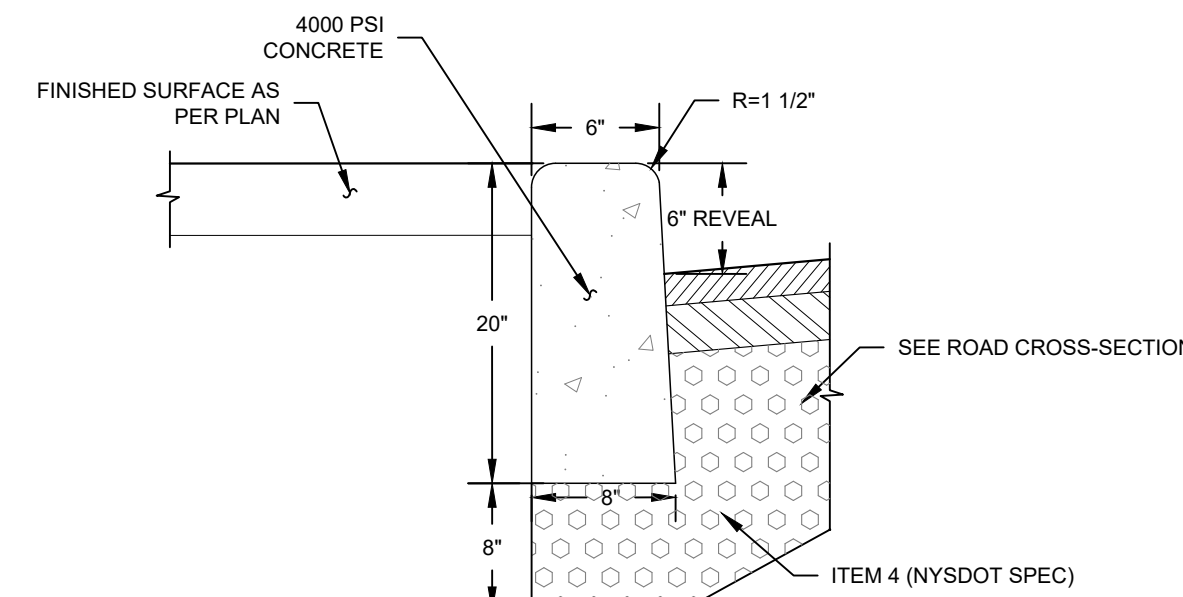
NOTES:

1. ALL VALVES TO INCLUDE MEGA-LUG RETAINER GLANDS AND BE RODDED BACK TO THE ADJACENT TEE IN THE WATERMAIN. INLINE VALVES NEED NOT BE RODDED. CONTRACTOR TO UTILIZE 2" DIA. GALVANIZED STEEL RODS WITH MALLEABLE IRON NUTS AT 180" SPACING.
 2. WATERMAIN VALVES FOR FOUR INCH THROUGH FORTY EIGHT INCH SHALL BE RESILIENT WEDGE GATE VALVES AS MANUFACTURED BY MUELLER, MODEL #A-2361. VALVES SHALL BE PROVIDED WITH AN EXTENSION SERVICE BOX TO GRADE.
 3. MAIN LINE VALVES TO BE SPACED TO NO FURTHER THAN 500 FEET APART IN COMMERCIAL DISTRICTS AND 800 FEET IN OTHER DISTRICTS.

VALVE AND VALVE BOX
 SCALE: NTS

GENERAL UTILITY NOTES

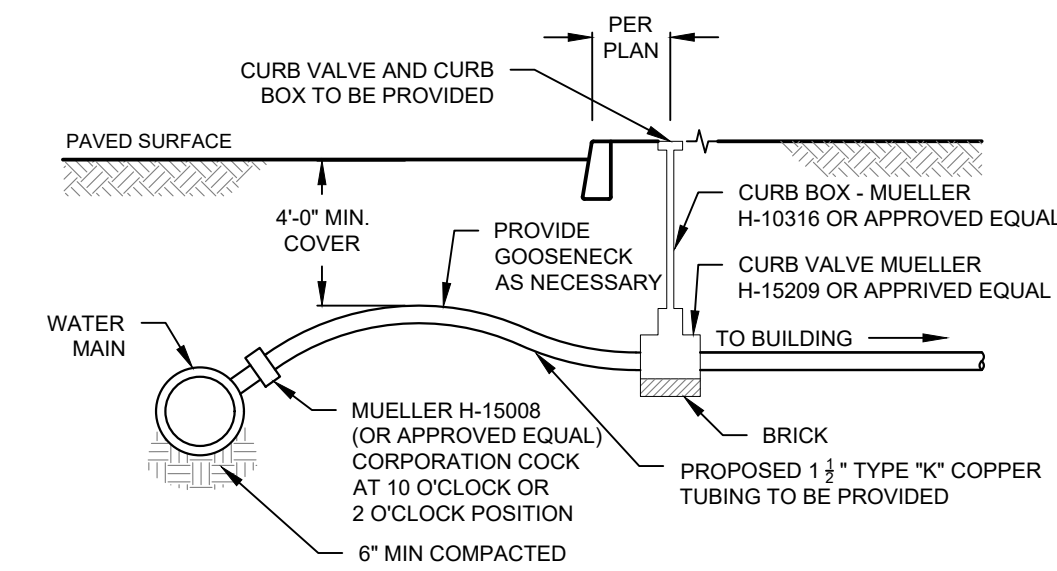
1. THE LOCATION AND SIZE OF EXISTING DRAINAGE FACILITIES ARE FROM SURVEYS, FIELD RECONNAISSANCE OR PLANS OF RECORD. ALL FACILITIES WHICH ARE TO REMAIN OR BE MODIFIED FOR REUSE SHALL BE FIELD VERIFIED AS TO ACTUAL LOCATION, ELEVATIONS, SIZE, TYPE AND CONDITION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE OWNER'S FIELD REPRESENTATIVE FOR RESOLUTION.
2. THE CONTRACTOR SHALL REFER TO THE BUILDING MECHANICAL AND PLUMBING PLANS FOR THE EXACT LOCATIONS AND INVERTS OF ALL BUILDING SERVICE CONNECTIONS.
3. ALL UTILITY STRUCTURE CASTINGS SHALL BE ADJUST AS NECESSARY TO BE FLUSH WITH PROPOSED FINISHED GRADE.



NOTES:

1. CURB SHALL BE CAST IN PLACE.
2. EXPANSION JOINTS OF 12" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT 10 FOOT INTERVALS AND WHERE REQUIRED (i.e. CURB BOXES, CATCH BASINS, ETC.)
3. 6" REVEAL CURB TO BE USED FOR ONSITE CURBS ONLY OUTSIDE OF ANY RIGHT OF WAY.

CONCRETE CURB
 SCALE: 1:1



NOTE:

1. ALL CONNECTIONS SHALL BE COMPRESSION FITTING ONLY.
2. CONTRACTOR TO VERIFY DEPTH OF WATER MAIN TO MAINTAIN MINIMUM COVER OVER WATER SERVICE LINES.

WATER SERVICE CONNECTION
 SCALE: N.T.S.

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<input type="checkbox"/> PLANNING BOARD APPROVAL	N/A OF N/A
<input type="checkbox"/> OGDH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> OGDH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/> OTHER	N/A OF N/A
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DETAILS

71 DUELK AVENUE
 VILLAGE OF BLOOMING GROVE
 ORANGE COUNTY, NEW YORK

JOB #:	2075.01	DRAWN BY:	KAB
DATE:	07/17/2023	SCALE:	1:1
REVISION:		TAX LOT:	215-5-17

C-102