



SOURCE: USGS US TOPO 7.5 MINUTE MAP FOR MONROE NY, 2019

LOCATION MAP

SCALE: 1" = 500'±

SITE PLANS FOR BRIGHTVIEW MANAGEMENT PROPOSED TEMPORARY STORAGE ENCLOSURE

OWNER/APPLICANT

BRIGHTVIEW MANAGEMENT
ISSAC WALTER
845-325-0575
ISSAC@BRIGHTVIEWM.COM

PARCEL 209-8-1

5 MANGIN ROAD

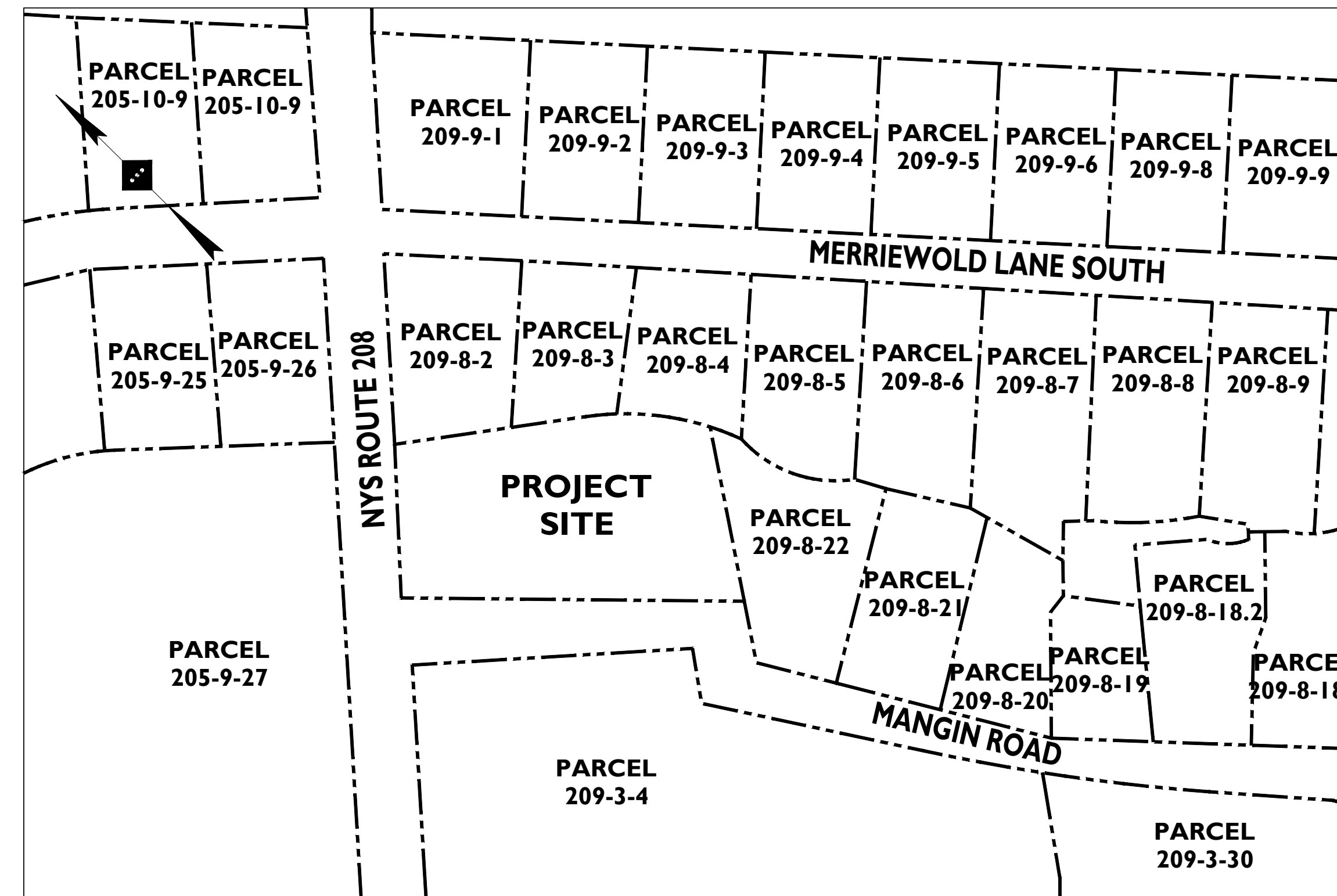
VILLIAGE OF SOUTH BLOOMING GROVE, ORANGE COUNTY, NEW YORK



SOURCE: GOOGLE EARTH PRO IMAGERY, RETRIEVED 5/18/2022

AERIAL MAP

SCALE: 1" = 100'±



SOURCE: ORANGE COUNTY GIS PARCEL VIEWER, RETRIEVED 5/18/2022

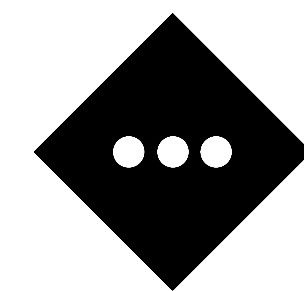
TAX MAP

SCALE: 1" = 100'±

PLANS PREPARED BY:



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PLAN REFERENCE MATERIALS:

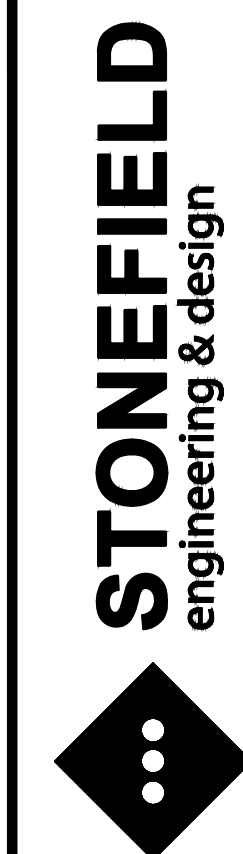
- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO IMAGERY, RETRIEVED 5/18/2022
 - LOCATION MAP OBTAINED FROM USGS QUADRANGLE 7.5 MINUTE SERIES MAP FOR MONROE NY DATED 2019
 - TAX AND ZONING MAP OBTAINED FROM ORANGE COUNTY GIS PARCEL VIEWER, RETRIEVED 5/18/2022
 - OUTBOUND AND TOPOGRAPHIC SURVEY PERFORMED BY CLEARPOINT SERVICES, LLC. DATED 12/15/2021
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
SITE PLAN & CONSTRUCTION DETAILS	C-2

ISSUE	DATE	BY	DESCRIPTION

NOT APPROVED FOR CONSTRUCTION



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SITE PLANS
BRIGHTVIEW MANAGEMENT
PROPOSED TEMPORARY STORAGE ENCLOSURE
PARCEL 209-8-1
5 MANGIN ROAD
VILLIAGE OF SOUTH BLOOMING GROVE
ORANGE COUNTY, NEW YORK

ZACHARY E. CHAPLIN, P.E.
NEW YORK LICENSE No. 99748
LICENSED PROFESSIONAL ENGINEER



SCALE: AS SHOWN PROJECT ID: RUT-220143

TITLE:

COVER SHEET

DRAWING:

C-1

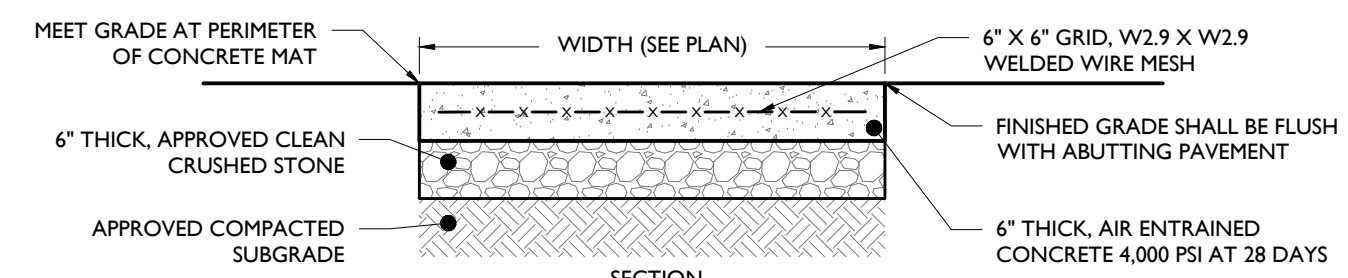
Z:\PHOTOGRAPHY\2022\220143\BRIGHTVIEW MANAGEMENT - 44 MERIEWOLD LANE S & 7 MANGIN ROAD S, BLOOMING GROVE, NY\CAD\2022\050421_COV.DWG

LAND USE AND ZONING		
PARCELS 209-8-1		
RURAL RESIDENTIAL (RR) DISTRICT		
PROPOSED USE	SPECIAL PERMIT*	
TEMPORARY STORAGE		
ZONING REQUIREMENT	TBD**	34,980.7 SF
MINIMUM LOT AREA	TBD**	140.0 FT (ROUTE 209)
MINIMUM LOT FRONTAGE	TBD**	237.0 FT (MARGIN)
MAXIMUM BUILDING COVERAGE	TBD**	2.9 % (101.14 SF)**
MINIMUM FRONT YARD SETBACK	TBD**	178.0 FT (ROUTE 209)
MINIMUM SIDE YARD SETBACK	TBD**	65.8 FT (MARGIN)
MINIMUM REAR YARD SETBACK	TBD**	20.8 FT
MINIMUM REAR YARD SETBACK	TBD**	56.0 FT
MINIMUM REAR YARD SETBACK	TBD**	N/A
MAXIMUM BUILDING HEIGHT	2 STORIES / 35 FT	2 STORIES / < 35 FT

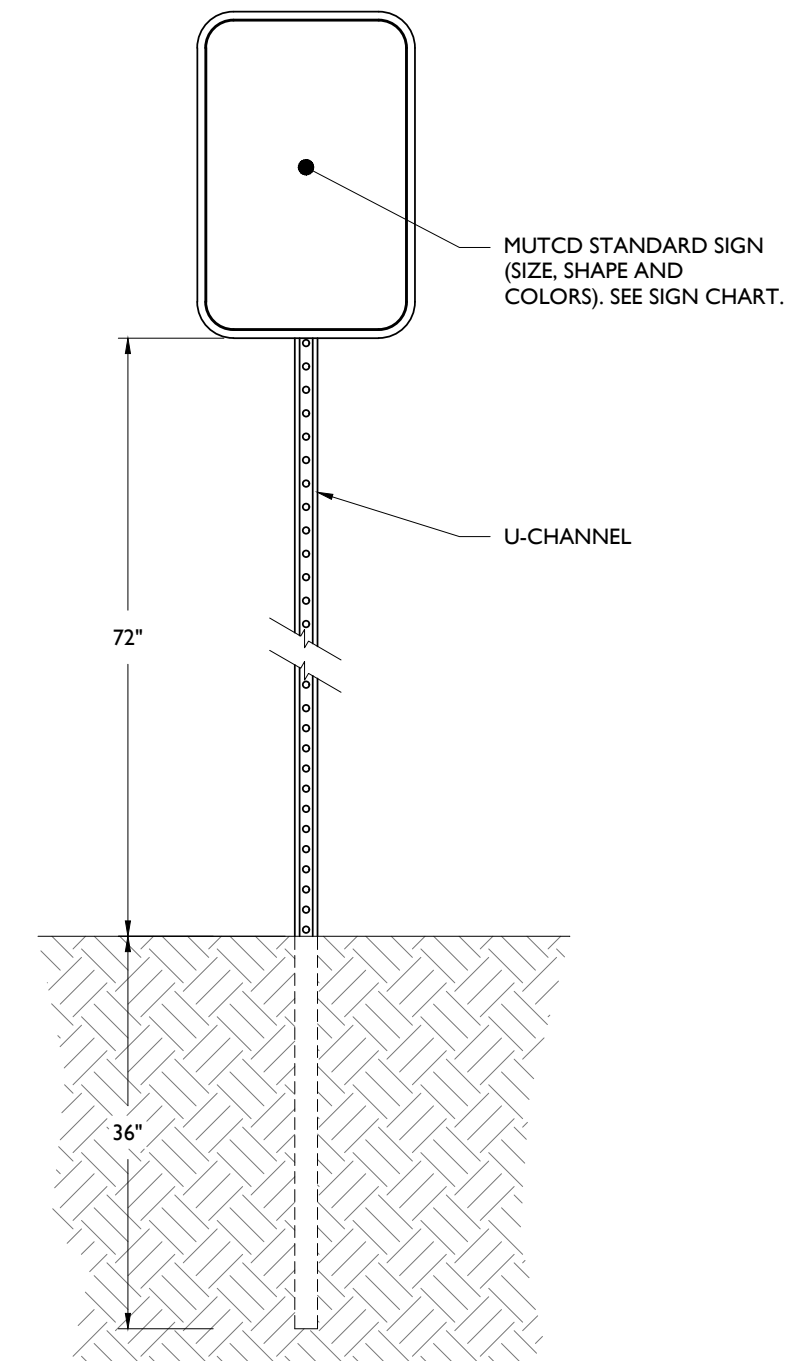
(*) SPECIAL PERMIT USES ARE ALLOWED BY VILLAGE BOARD SPECIAL PERMIT APPROVAL AND PLANNING BOARD SITE PLAN APPROVAL
 (**) CRITERIA SHALL BE DETERMINED BY THE PLANNING BOARD DURING THE SITE PLAN APPROVAL PROCESS
 (***) AREA OF EXISTING BUILDING ONLY

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 235-23.C	RETAIL (COVER 2,000 SF) I.E. GARAGE 1 SPACE PER 300 GSF 5,040 SF / 300 GSF = 17 SPACES	24 TOTAL SPACES
§ 235-24.B	MINIMUM PARKING SPACE SIZE 9 FT WIDE x 18 FT LONG	9 FT x 18 FT
§ 235-25.A	MINIMUM 2-WAY DRIVEWAY 24 FT WIDE	24 FT WIDE
	MINIMUM ACCESS AISLE 22 FT WIDE	24 FT WIDE

SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - - -	SETBACK LINE
- · - · -	SAWCUT LINE
○ ○ ○	PROPOSED SIGNS / BOLLARDS
■	PROPOSED BUILDING
▨	PROPOSED GRAVEL



- NOTES:
- 1/2" EXPANSION JOINTS WITH WATER SEAL SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE. LONGITUDINAL REBAR TO BE CUT AT EXPANSION JOINTS.
 - 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT MID-POINT BETWEEN EXPANSION JOINTS OR 6' INTERVALS MAX.
 - CONCRETE SHALL RECEIVE BROOM FINISH.
 - ALL EXPOSED CORNERS TO HAVE 12" CHAMFER.

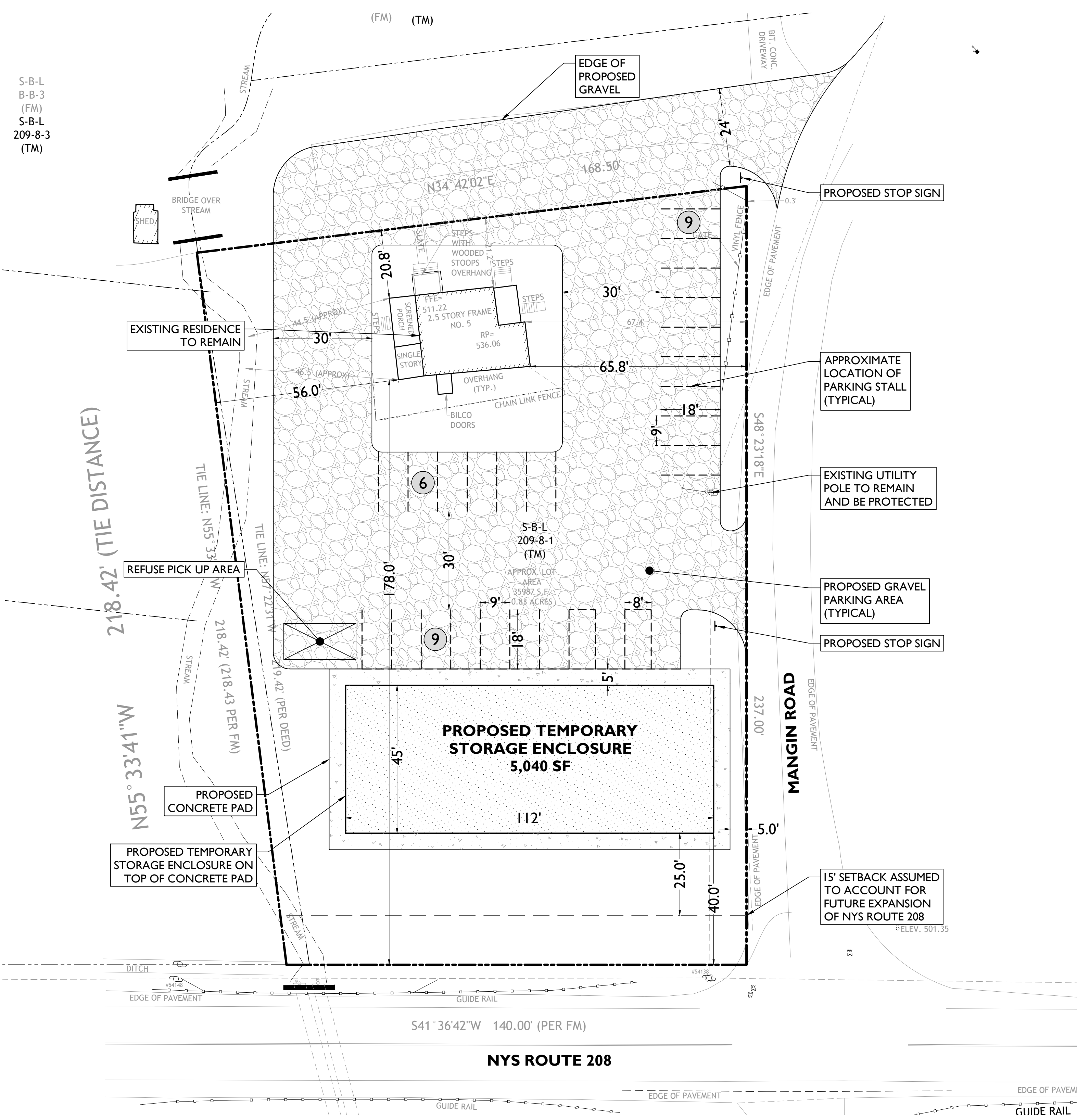
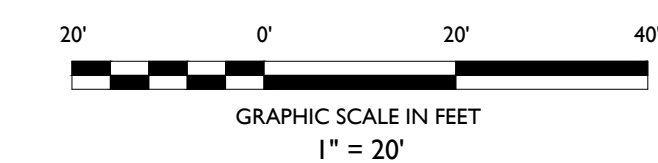


M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)	STOP	WHITE	RED	36"x36"	GROUND

- NOTE:
1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
 2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

SIGN DATA TABLE
NOT TO SCALE

- GENERAL NOTES**
1. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
 2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
 3. ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
 4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
 5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
 6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
 7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
 8. CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
 9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
 11. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
 12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



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SCALE: 1" = 20'	PROJECT ID: RUT-220143
TITLE: SITE PLAN & CONSTRUCTION DETAILS	
DRAWING: C-2	