



SOURCE: USGS US TOPO 7.5 MINUTE MAP FOR MONROE NY, 2019

LOCATION MAP

SCALE: 1" = 500±



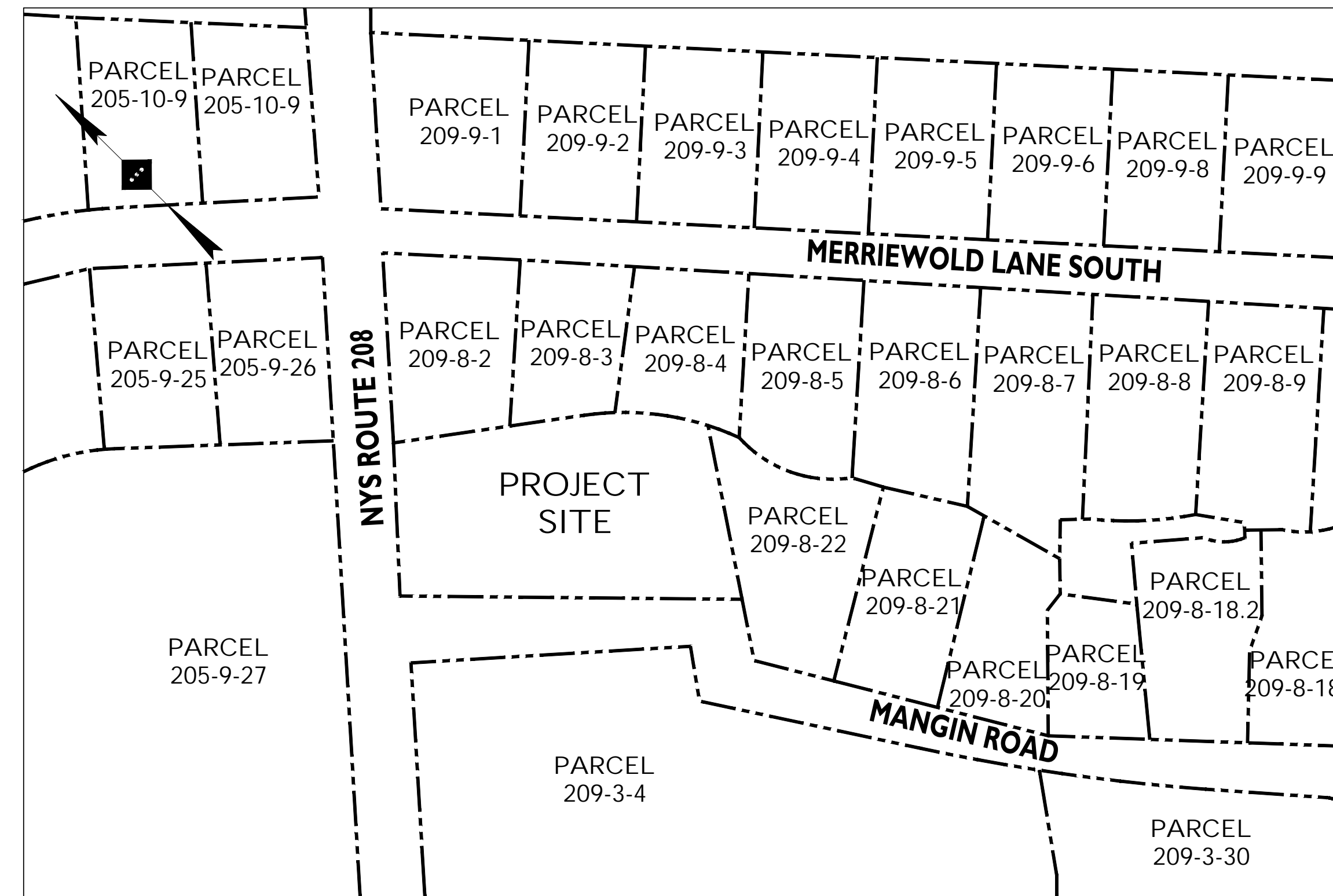
SOURCE: GOOGLE EARTH PRO IMAGERY, RETRIEVED 5/18/2022

AERIAL MAP

SCALE: 1" = 100±

SITE PLANS FOR PEPPERMINT SUPERMARKET

PARCEL 209-8-1
5 MANGIN ROAD
VILLIAGE OF SOUTH BLOOMING GROVE, ORANGE COUNTY, NEW YORK



SOURCE: ORANGE COUNTY GIS PARCEL VIEWER, RETRIEVED 5/18/2022

TAX MAP

SCALE: 1" = 100±

PLANS PREPARED BY:



Rutherford, NJ · New York, NY · Boston, MA
Princeton, NJ · Tampa, FL · Detroit, MI
www.stonefieldeng.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone 201.340.4468 · Fax 201.340.4472

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO IMAGERY, RETRIEVED 5/18/2022
 - LOCATION MAP OBTAINED FROM USGS QUADRANGLE 7.5 MINUTE SERIES MAP FOR MONROE NY DATED 2019
 - TAX AND ZONING MAP OBTAINED FROM ORANGE COUNTY GIS PARCEL VIEWER, RETRIEVED 5/18/2022
 - OUTBOUND AND TOPOGRAPHIC SURVEY PERFORMED BY CLEARPOINT SERVICES, LLC, DATED 12/15/2021
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX	
DRAWING TITLE	SHEET #
COVER SHEET	C-1
SITE PLAN	C-2
GRADING AND UTILITY PLAN	C-3
CONSTRUCTION DETAILS	C-4



Know what's below
Call before you dig.

ISSUE	DATE	BY	DESCRIPTION
1	7/16/2022	MC	REVISED PER VILLAGE AND CLIENT COMMENTS
2	8/16/2022	MC	REVISED PER VILLAGE AND CLIENT COMMENTS

NOT APPROVED FOR CONSTRUCTION



Rutherford, NJ · New York, NY · Boston, MA
Princeton, NJ · Tampa, FL · Detroit, MI
www.stonefieldeng.com
Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone 201.340.4468 · Fax 201.340.4472

SITE PLANS PEPPERMINT SUPERMARKET

PARCEL 209-8-1
5 MANGIN ROAD
VILLIAGE OF SOUTH BLOOMING GROVE
ORANGE COUNTY, NEW YORK



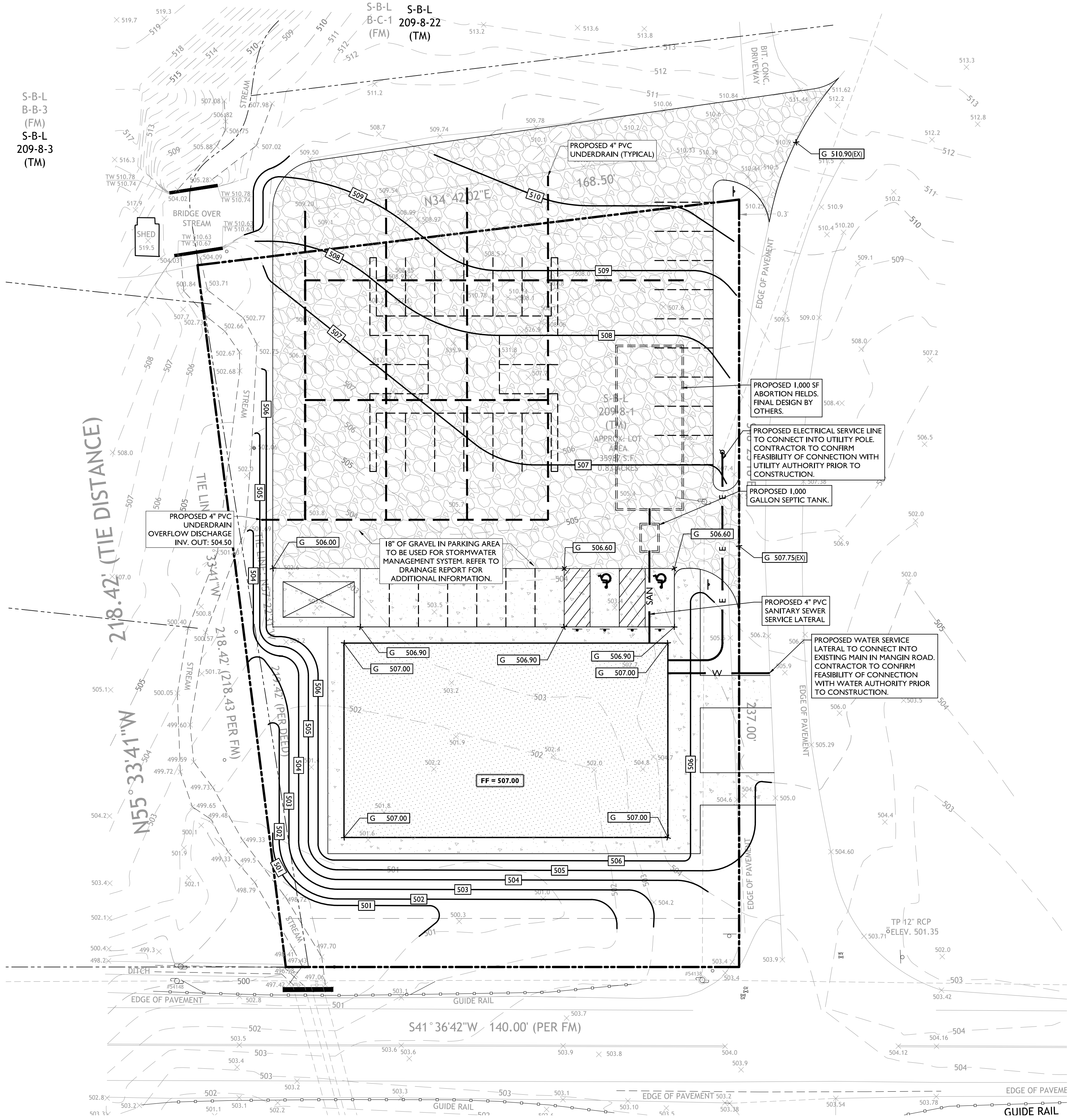
SCALE: AS SHOWN PROJECT ID: RUT-220143

TITLE:
COVER SHEET

DRAWING:

C-1

Z:\PROJECTS\2024\220143\220143-GRADING.DWG - 4.4 REVISIONS DATE: 8.15.2024 DRAWN BY: M. J. BLOOMING GROUNDWORK INC. PROJECT NO: 220143-GRADING



SYMBOL	DESCRIPTION
---	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
x-G 100.00	PROPOSED GRADE SPOT SHOT
W	PROPOSED DOMESTIC WATER SERVICE
SAN	PROPOSED SANITARY LATERAL
E	PROPOSED ELECTRIC CONDUITS

GRADING NOTES

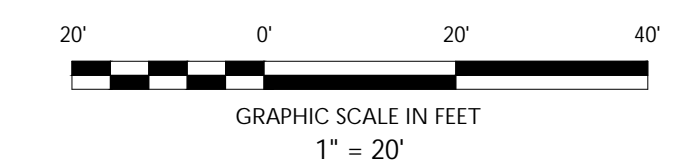
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
- THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
- THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
- MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTERS: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
- A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET.
- FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

ADA NOTES

- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
- THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP FOR ALTERATIONS. A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
- ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
- A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
- THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
- THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2 INCH.

UTILITY NOTES

- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE TO PROTECT, AND MAINTAIN IN OPERATION, ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
- A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
- ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
- CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP GRADIENT.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



REVISION	DATE	ISSUE	BY	DESCRIPTION
2	8/16/2022	MC		REVISED PER VILLAGE AND CLIENT COMMENTS
1	7/16/2022	MC		REVISED PER VILLAGE AND CLIENT COMMENTS

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Rutherford, NJ · New York, NY · Boston, MA
Princeton, NJ · Tampa, FL · Detroit, MI
www.stonefielddesign.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone 201.340.4468 · Fax 201.340.4472

SITE PLANS

PEPPERMIT SUPERMARKET

PARCEL 209-8-1
5 MANGIN ROAD
VILLAGE OF SOUTH BLOOMING GROVE
ORANGE COUNTY, NEW YORK

STATE OF NEW YORK
SEAL OF THE STATE ENGINEER

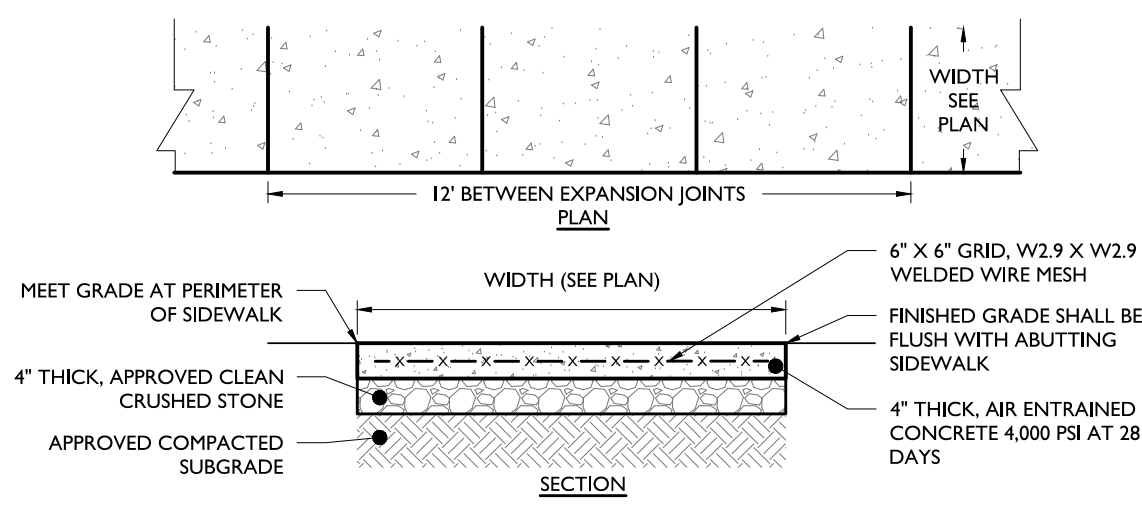
ZACHARY E. CHAMIN, P.E.
NEW YORK LICENSE NO. 99748
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 20' PROJECT ID: RUT-220143

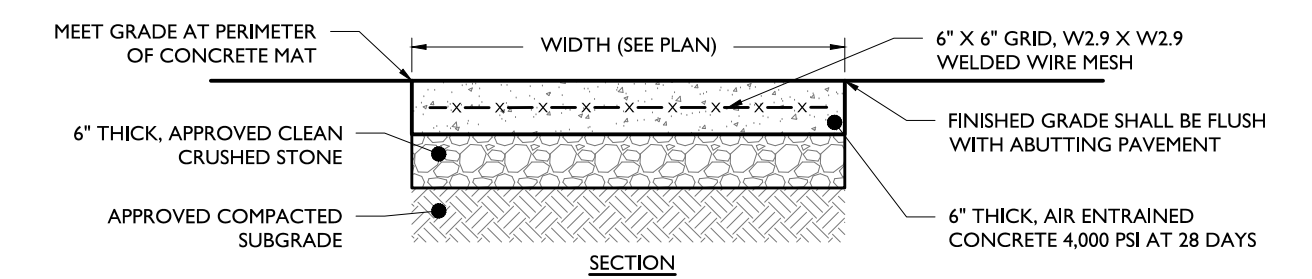
TITLE: GRADING AND UTILITY PLAN

DRAWING: C-3



REINFORCED CONCRETE WALKWAY DETAIL
NOT TO SCALE

- NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE 1/4\"/>



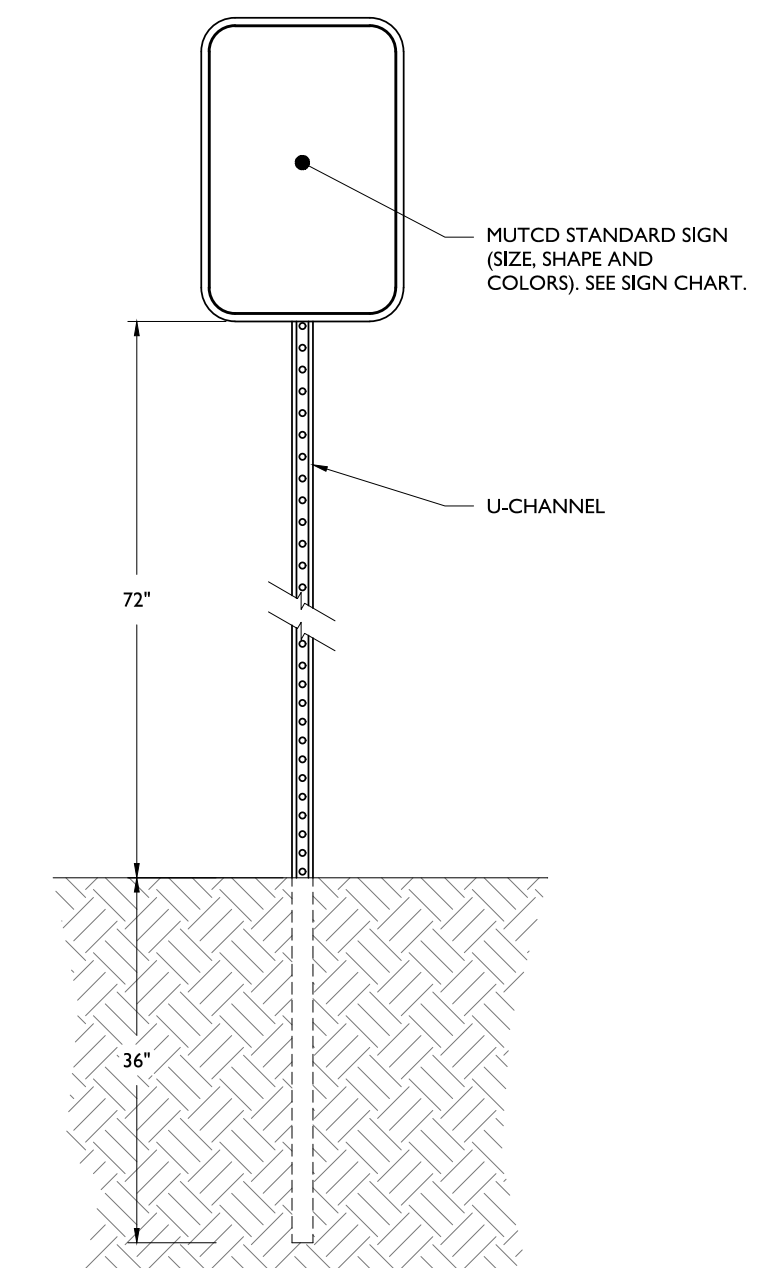
REINFORCED 6\"/>

- NOTES:
1. 1/2\"/>

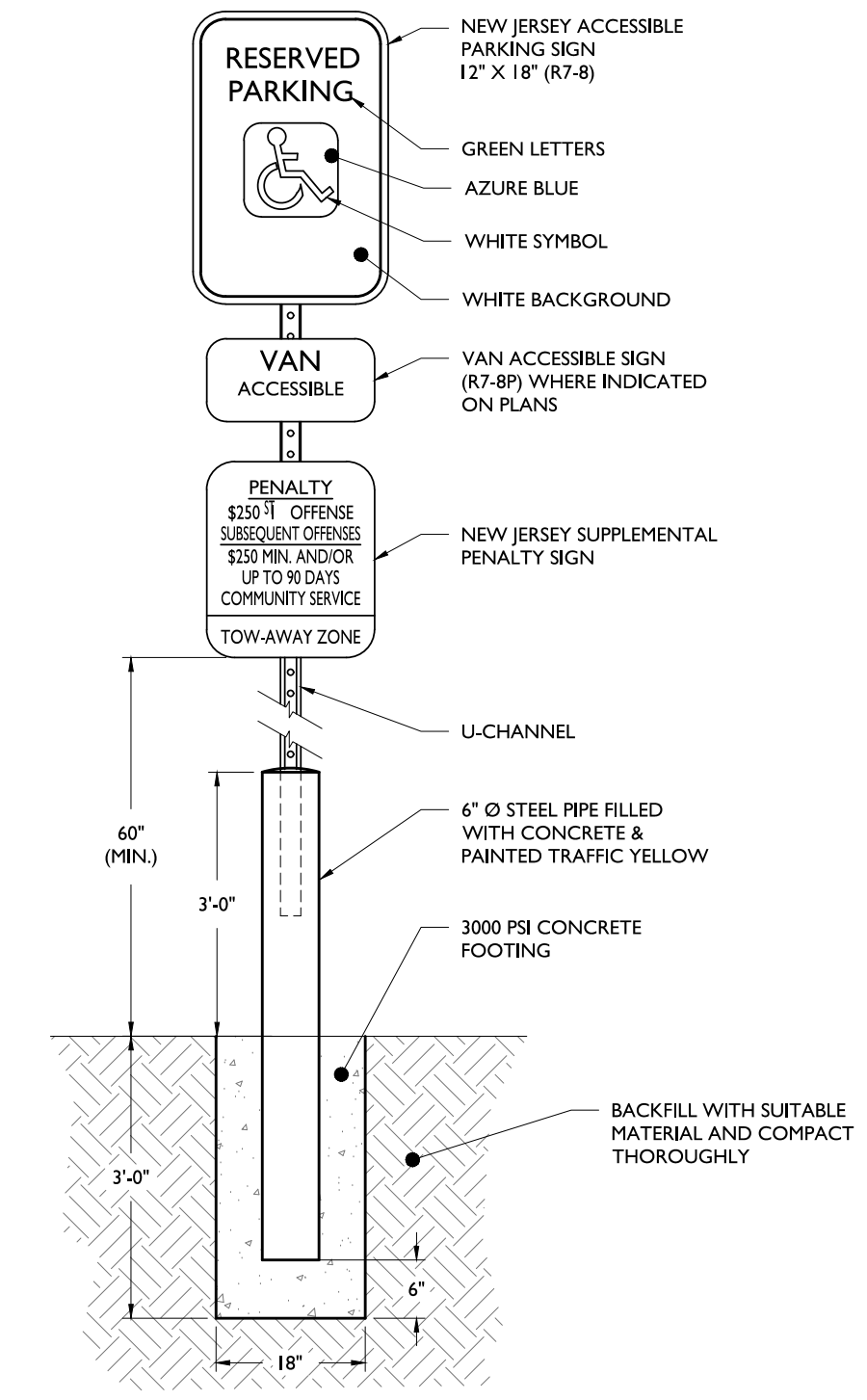
M.U.T.C.D. NUMBER	TEXT	COLOR	SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
STOP SIGN (R1-1)		WHITE	36\"/>	

SIGN DATA TABLE
NOT TO SCALE

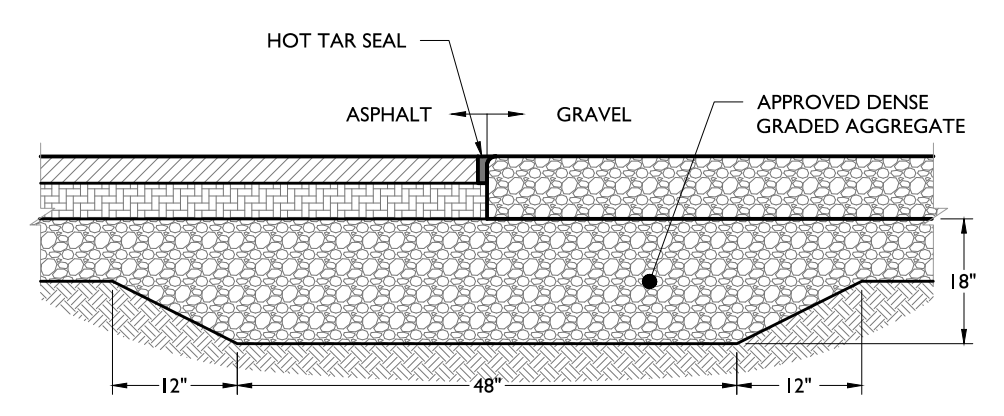
- NOTES:
1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
 2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.



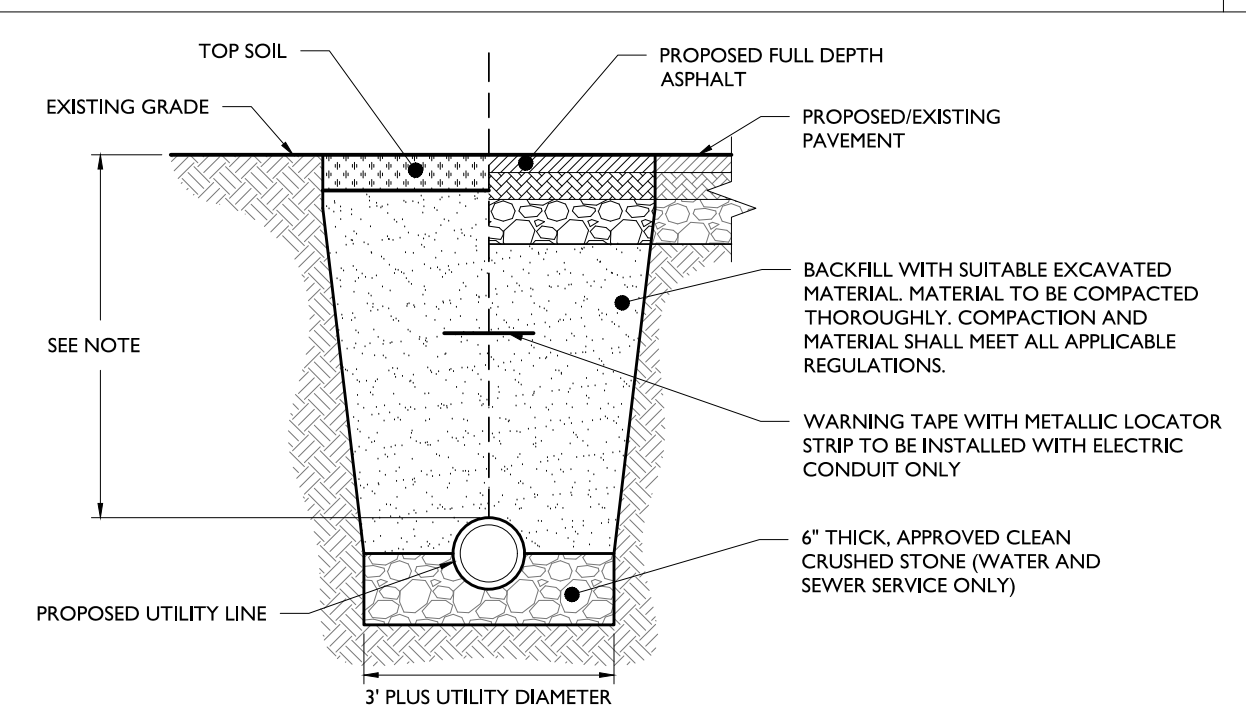
SIGN POST DETAIL
NOT TO SCALE



ACCESSIBLE PARKING SIGN WITH BOLLARD DETAIL
NOT TO SCALE

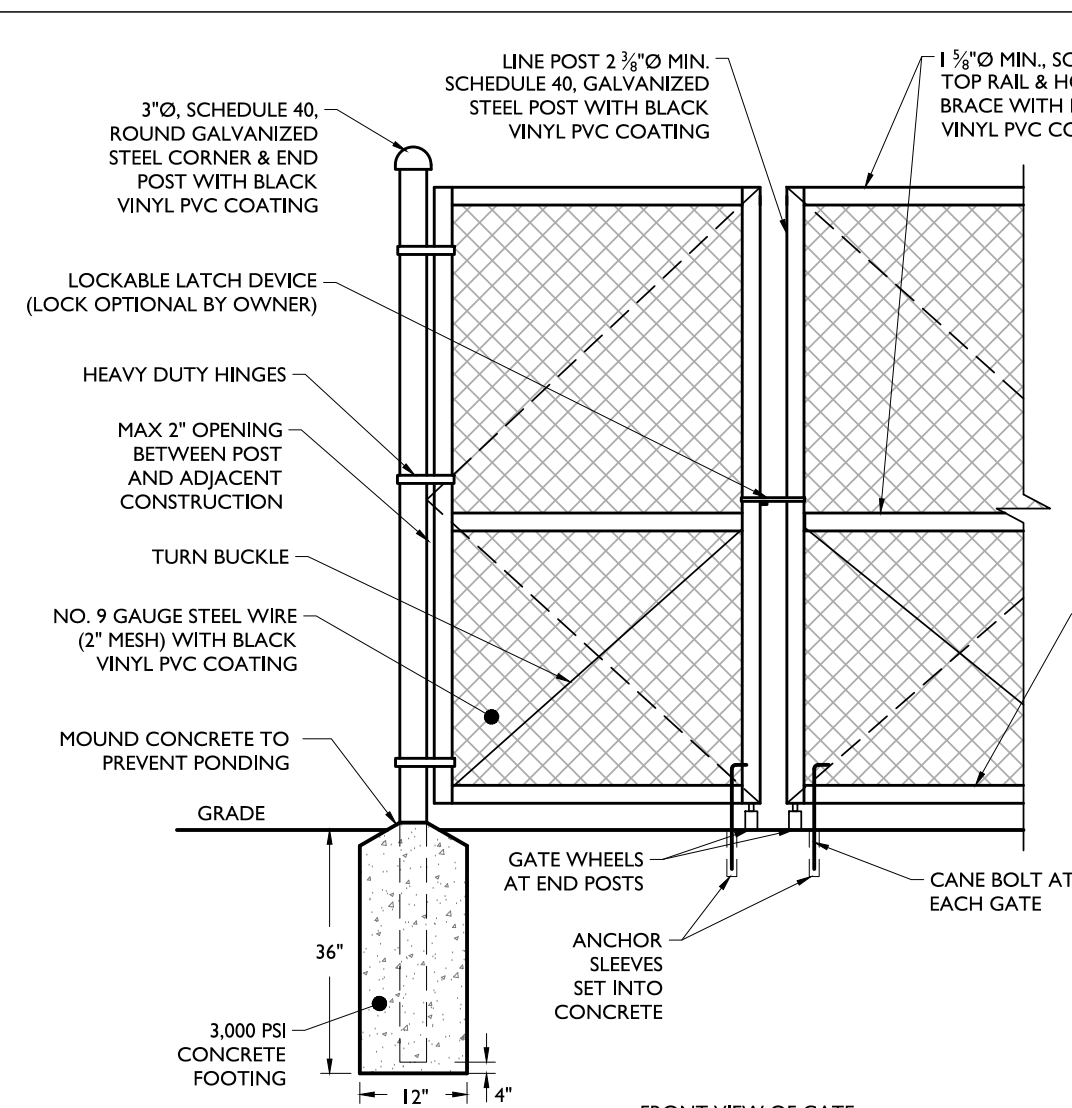


CONCRETE TO GRAVEL TRANSITION DETAIL
NOT TO SCALE

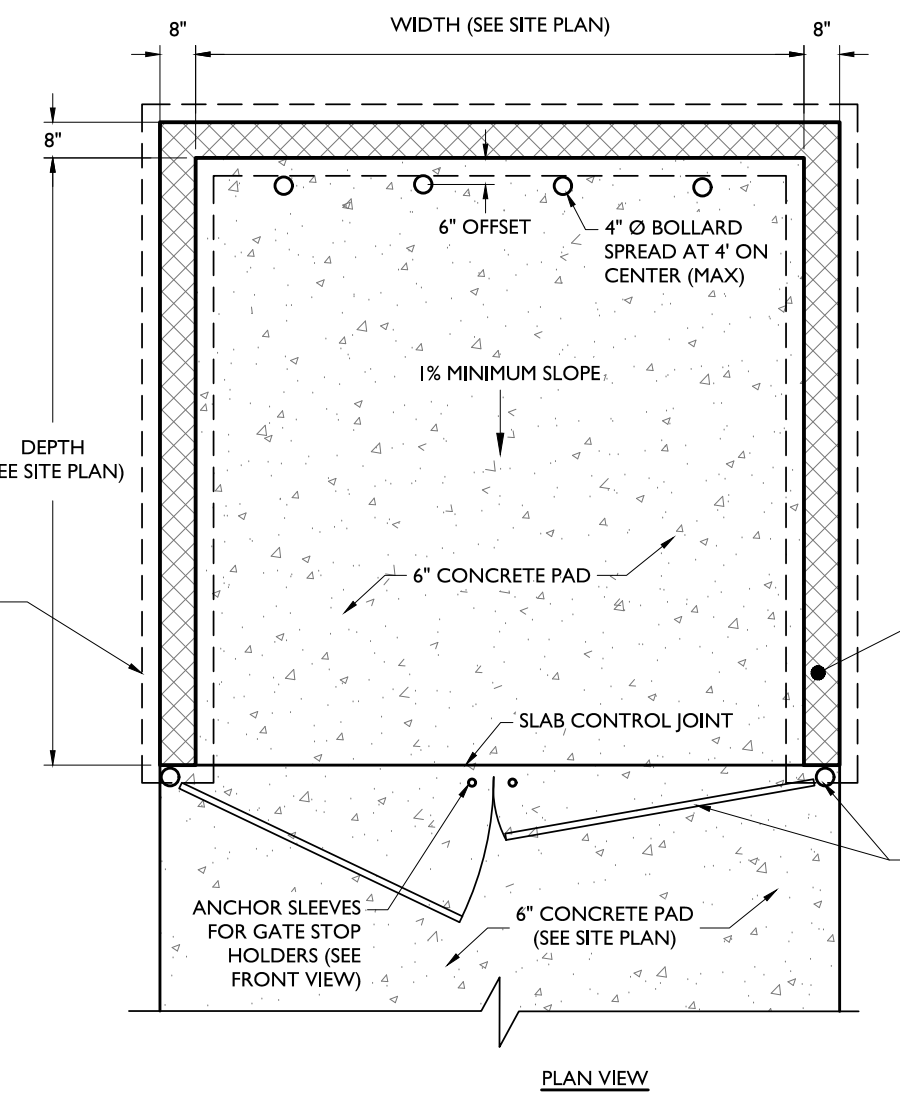


UTILITY TRENCH DETAIL
NOT TO SCALE

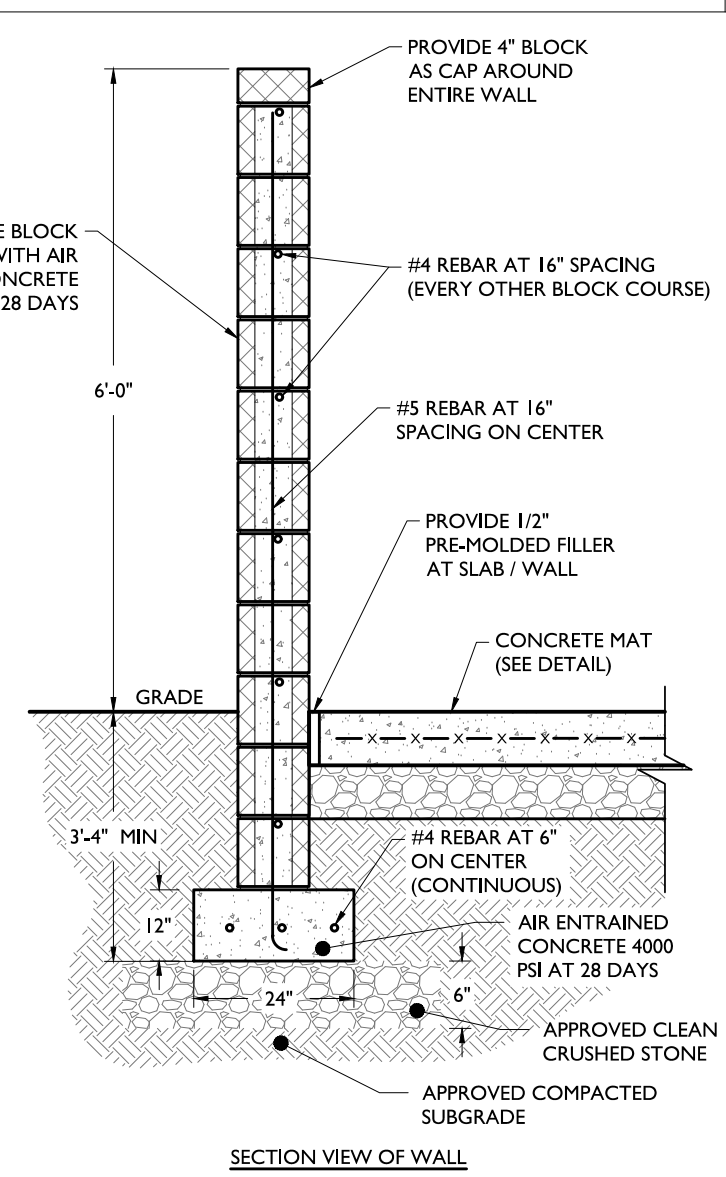
- NOTE:
- MINIMUM PIPE COVER SHALL BE AS FOLLOWS:
- ELECTRIC SERVICE - PER APPLICABLE UTILITY AUTHORITY
 - GAS SERVICE - PER APPLICABLE UTILITY AUTHORITY
 - SEWER SERVICE - 36\"/>



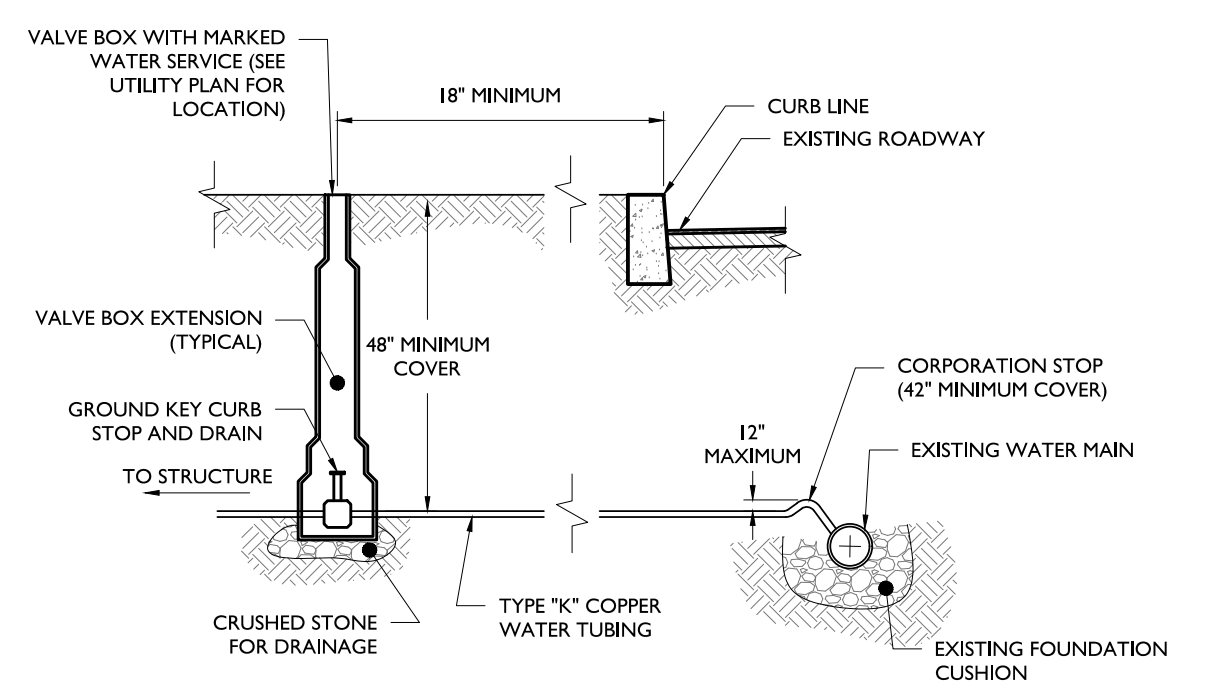
FRONT VIEW OF GATE



TRASH / RECYCLE ENCLOSURE DETAIL
NOT TO SCALE

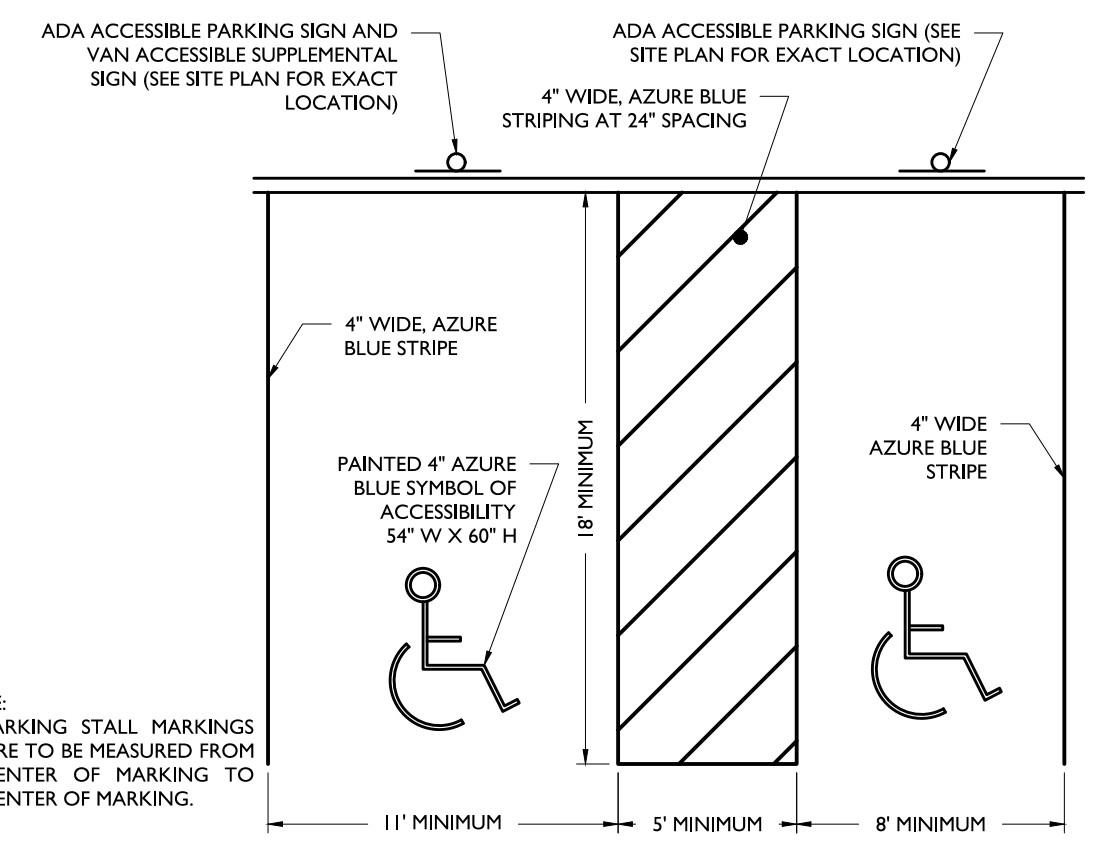


SECTION VIEW OF WALL



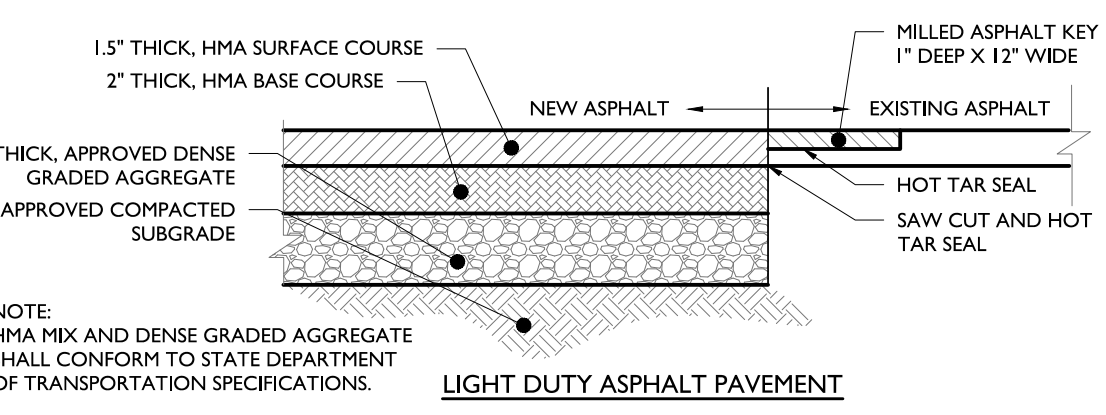
WATER CONNECTION DETAIL
NOT TO SCALE

- NOTE:
- BLOCK COLOR TO MATCH BUILDING OR AS SPECIFIED BY OWNER

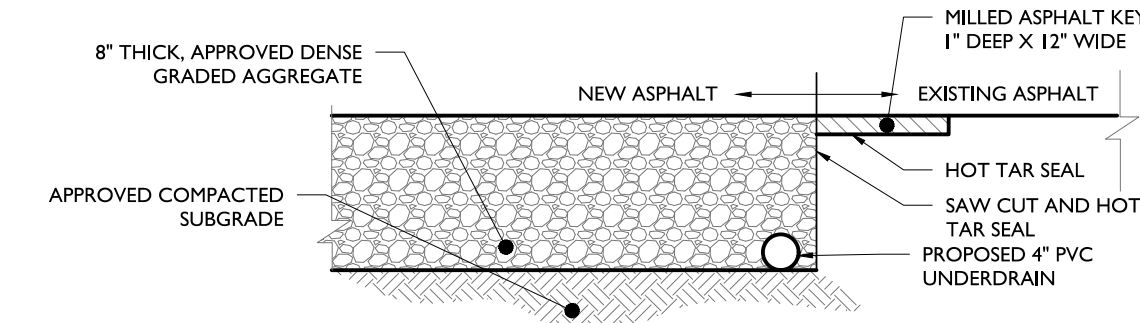


ACCESSIBLE PARKING STALL MARKINGS
NOT TO SCALE

- NOTE:
1. PARKING STALL MARKINGS ARE TO BE MEASURED FROM CENTER OF MARKING TO CENTER OF MARKING.



FULL DEPTH ASPHALT PAVEMENT DETAIL
NOT TO SCALE



GRAVEL DETAIL
NOT TO SCALE

STONEFIELD
engineering & design

Rutherford, NJ · New York, NY · Boston, MA
Princeton, NJ · Tampa, FL · Detroit, MI
www.stonefielddesign.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070
Phone 201.340.4468 · Fax 201.340.4472

PEPPERMINT SUPERMARKET

STATE OF NEW JERSEY
JACOBARY E. CHAPMAN, P.E.
NEW JERSEY LICENSE NO. 99748
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: N.T.S. PROJECT ID: RUT-220143

TITLE: CONSTRUCTION DETAILS

DRAWING: C-4

Z:\PROJECTS\CONSTRUCTION\220143\BRIGHTVIEW MANAGEMENT - 4 & 6 REBERWOLD LANE S & 7 MANHATTAN ROAD S, BLOOMING GROVE, INDIANAPOLIS 46104\11-11-21.DWG