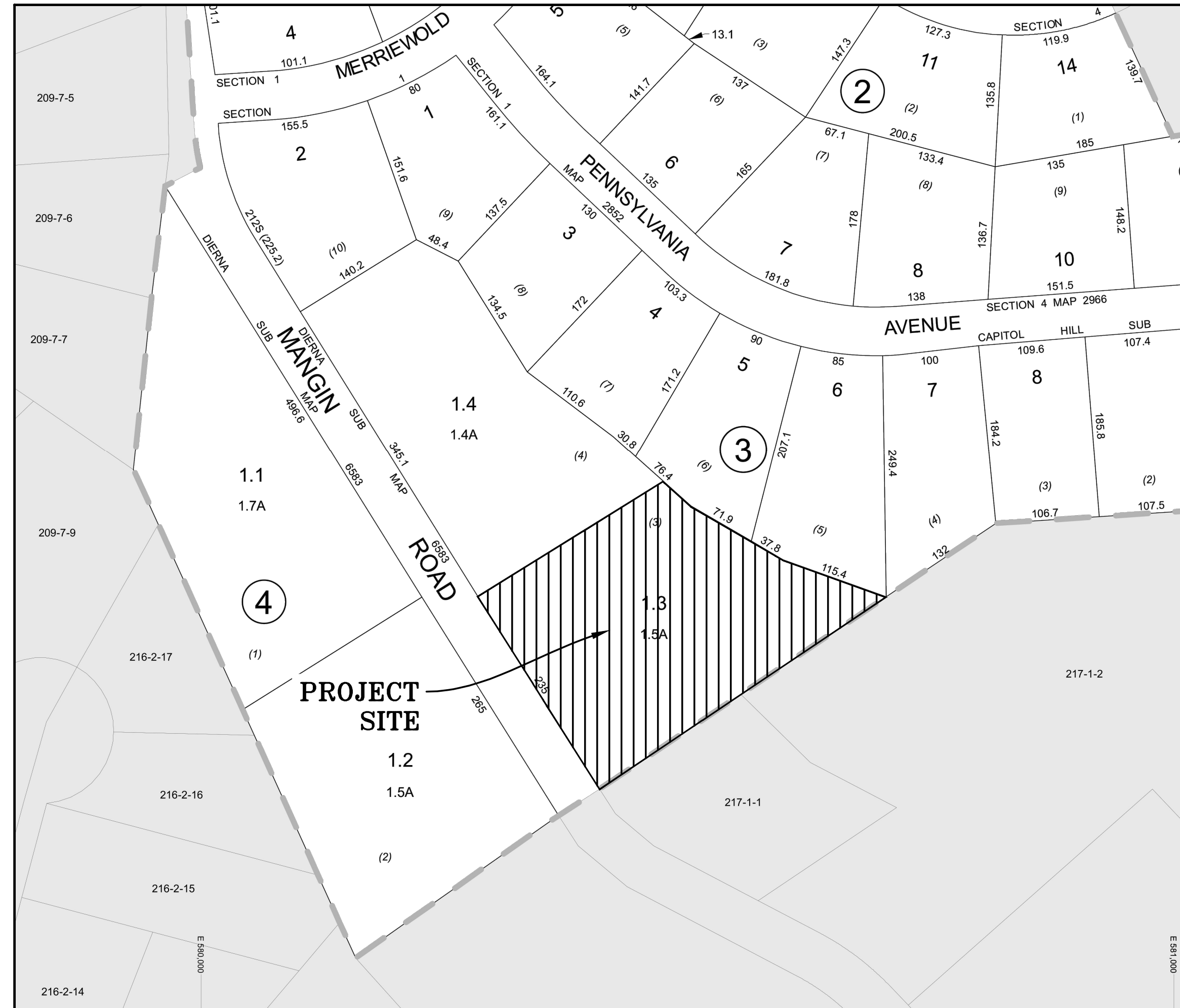


# SUBDIVISION PREPARED FOR MANGIN VILLAS LLC VILLAGE OF SOUTH BLOOMING GROVE, ORANGE COUNTY, NEW YORK



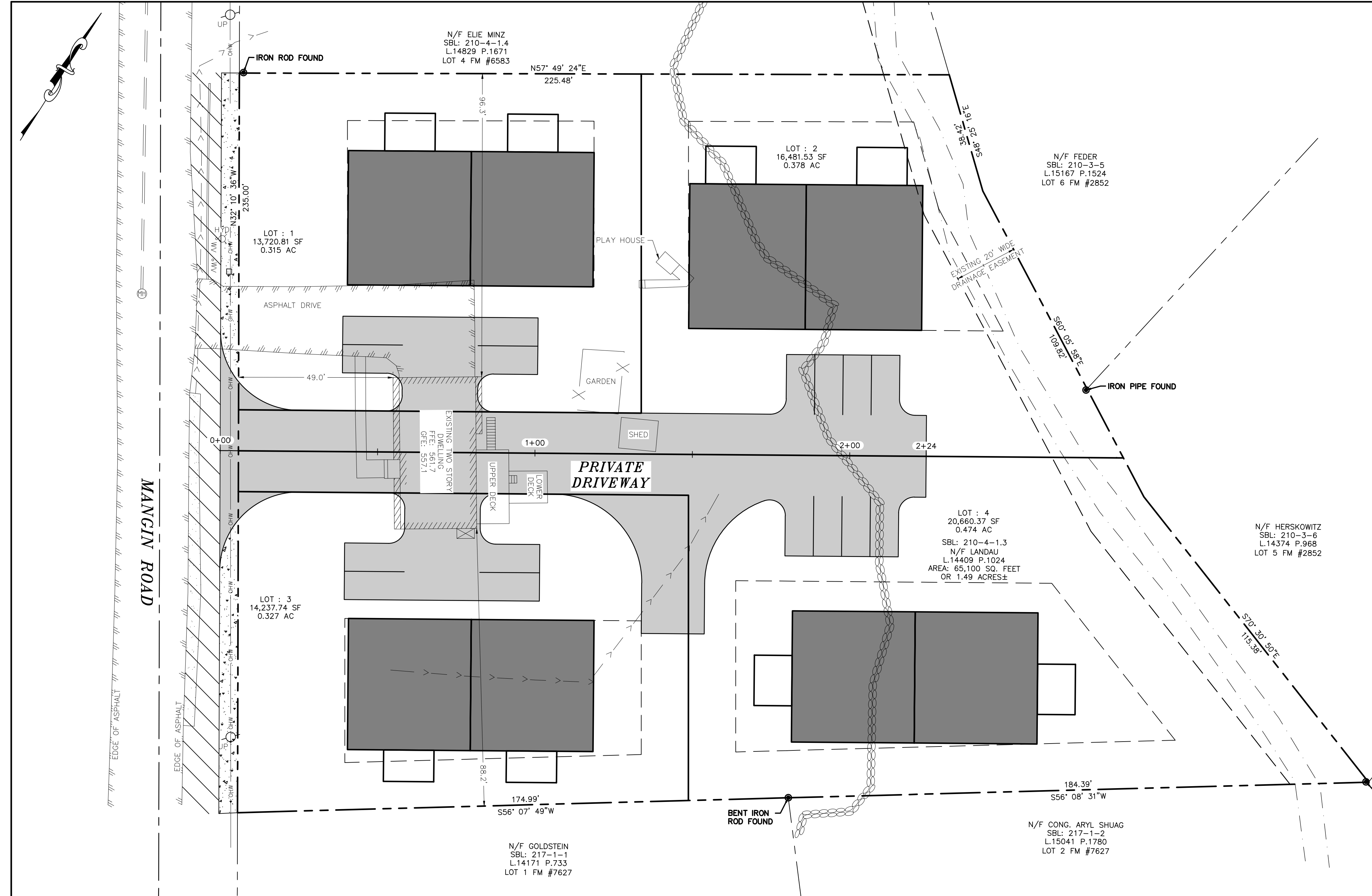
**LOCATION MAP**  
SCALE: 1"=100'

**GENERAL NOTES:**

1. RECORD OWNER & APPLICANT:  
OWNER: LDL ESTATES LLC, 29 VIRGINIA AVE, MONROE NY 10950  
APPLICANT: MANGIN VILLAS LLC, 1170 ROUTE 17M SUITE 1, CHESTER NY 10918
2. PROPERTY ADDRESS:  
47 MANGIN ROAD,  
VILLAGE OF SOUTH BLOOMING GROVE,  
ORANGE COUNTY, NEW YORK
3. TAX MAP NUMBER:  
SECTION 210, BLOCK 4, LOT 1.3
4. DEED REFERENCE:  
LIBER 15496, PAGE 682
5. PARCEL AREA/SIZE: 64,389 SF

**DRAWING LIST**

| SHEET #  | SHEET TITLE               | ORIGINAL DATE / LAST REVISED DATE |
|----------|---------------------------|-----------------------------------|
| 01 OF 03 | TITLE SHEET               | 03-07-24 /                        |
| 02 OF 03 | EXISTING CONDITIONS PLAN  | 03-07-24 /                        |
| 03 OF 03 | PROPOSED SUBDIVISION PLAN | 03-07-24 /                        |



**TITLE SHEET**  
SCALE: 1"=20'

| REV. | BY | DATE | DESCRIPTION |
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THIS SHEET IS NOT VALID WITHOUT ALL OF THE SHEETS THAT COMPRISE THE SET

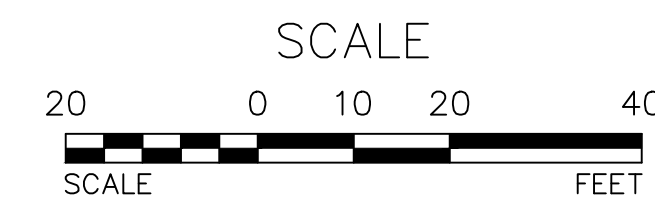
**ARDEN CONSULTING ENGINEERS, PLLC**  
P.O. BOX 340 MONROE, N.Y.  
TEL: (845) 782-8114  
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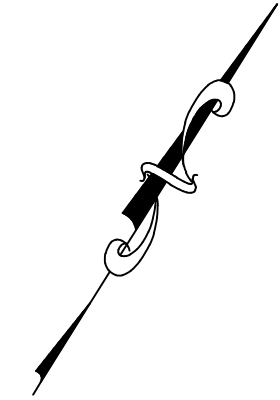
SUBDIVISION PREPARED FOR  
**MANGIN VILLAS LLC**  
VILLAGE OF SOUTH BLOOMING GROVE,  
ORANGE COUNTY, NEW YORK

JOB#: 24-013  
SCALE: AS NOTED  
DATE: 03-07-24  
DRAWN: MM  
CHECKED: MM  
SHEET NO. 01 of 03

TITLE SHEET

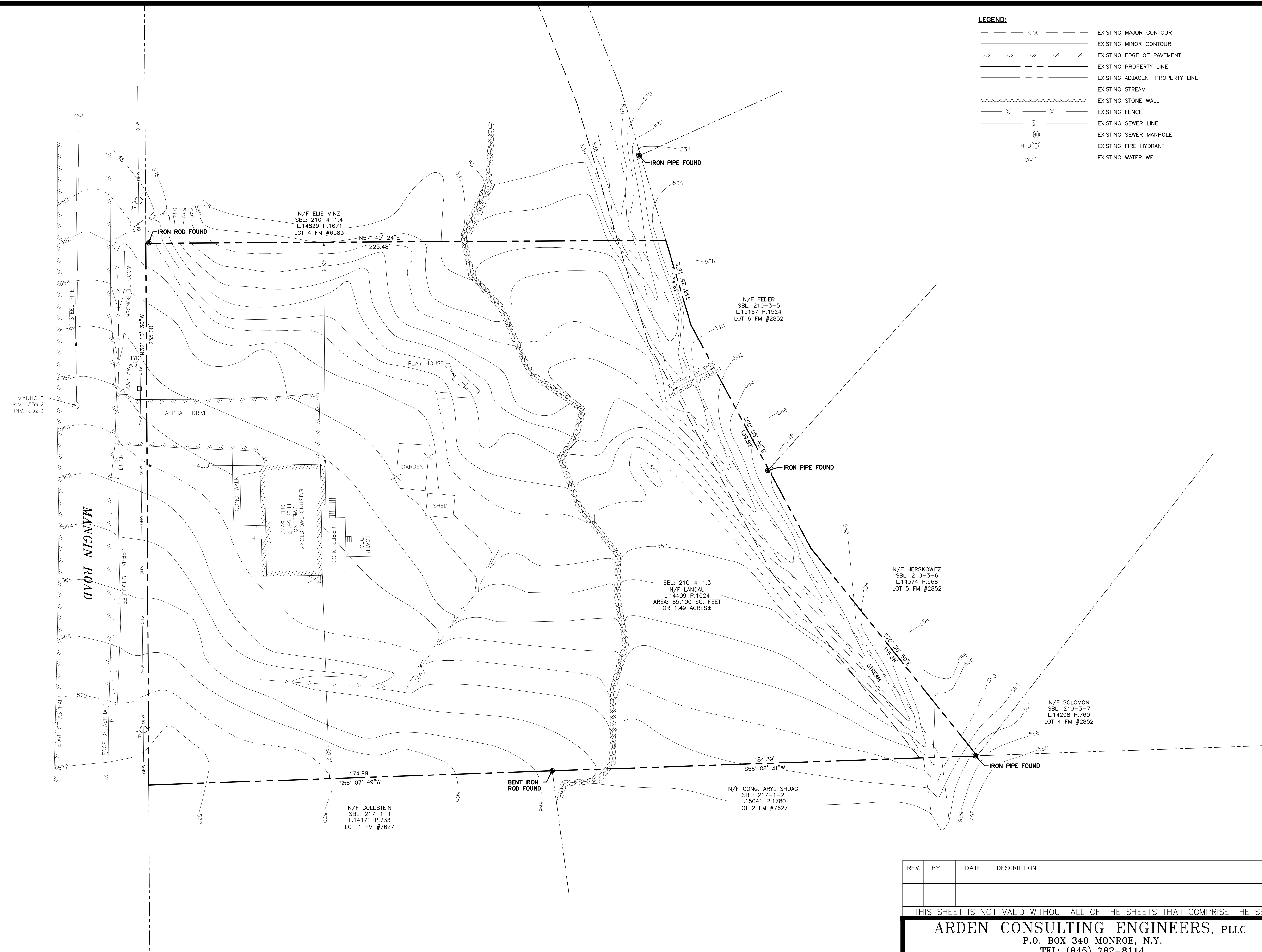


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**LEGEND:**

|  |     |                                 |
|--|-----|---------------------------------|
|  | 550 | EXISTING MAJOR CONTOUR          |
|  |     | EXISTING MINOR CONTOUR          |
|  |     | EXISTING EDGE OF PAVEMENT       |
|  |     | EXISTING PROPERTY LINE          |
|  |     | EXISTING ADJACENT PROPERTY LINE |
|  |     | EXISTING STREAM                 |
|  |     | EXISTING STONE WALL             |
|  |     | EXISTING FENCE                  |
|  |     | EXISTING SEWER LINE             |
|  |     | EXISTING SEWER MANHOLE          |
|  |     | EXISTING FIRE HYDRANT           |
|  |     | EXISTING WATER WELL             |

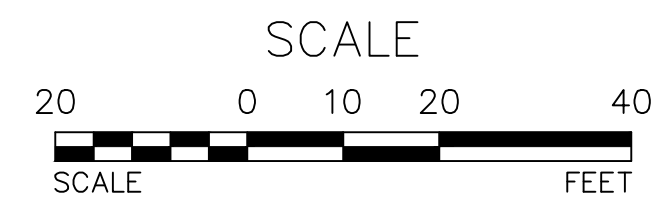


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**EXISTING CONDITIONS PLAN**  
SCALE: 1"=20'



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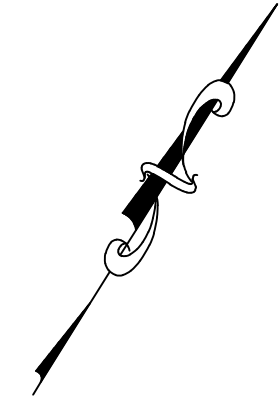
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SUBDIVISION PREPARED FOR  
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ORANGE COUNTY, NEW YORK

**EXISTING CONDITIONS PLAN**

|            |          |
|------------|----------|
| JOB#:      | 24-013   |
| SCALE:     | AS NOTED |
| DATE:      | 03-07-24 |
| DRAWN:     | MM       |
| CHECKED:   | MM       |
| SHEET NO.: | 02 of 03 |

MICHAEL A. MORGANTE, P.E.  
LIC. NO. 78577



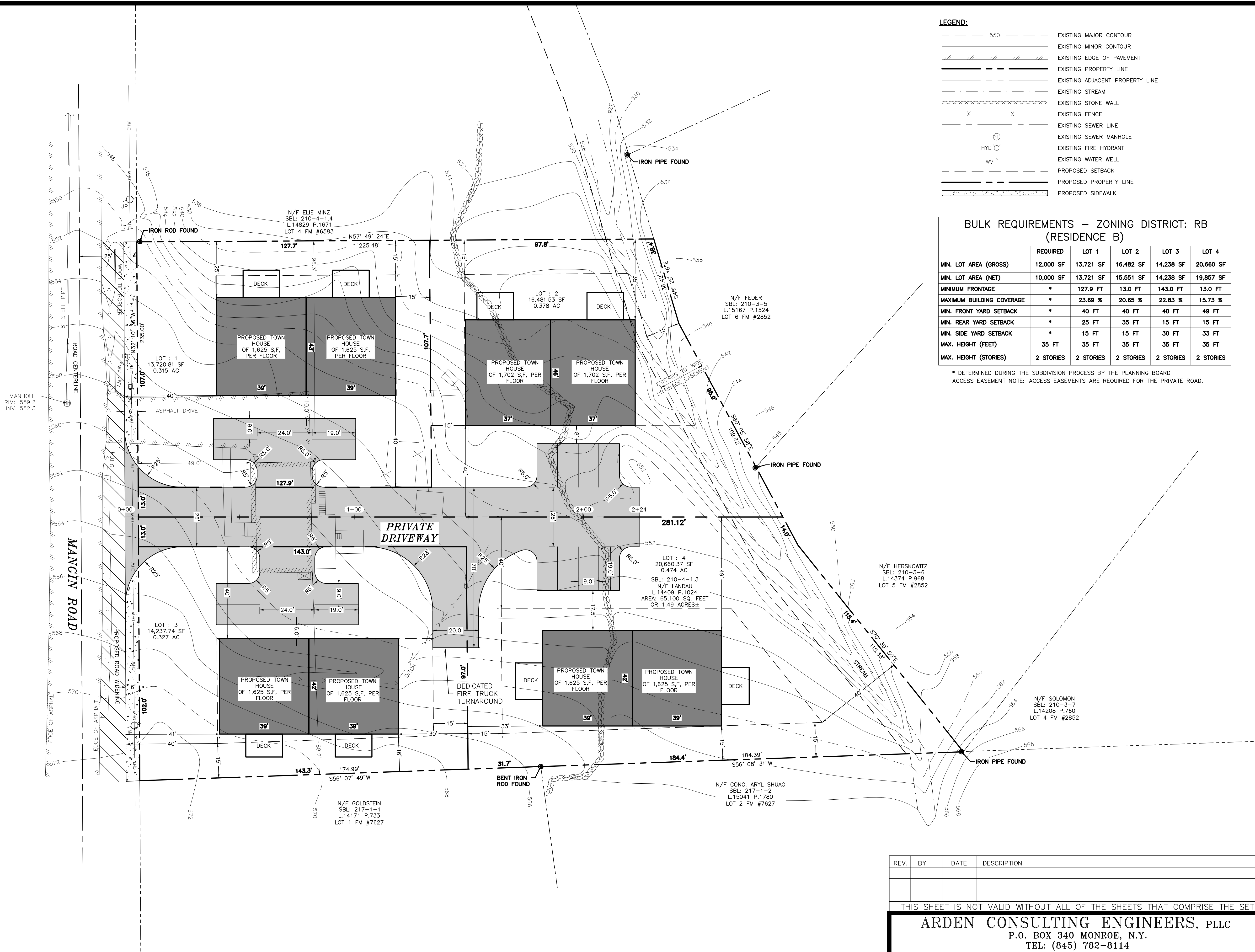
**LEGEND:**

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|  |     | EXISTING SEWER MANHOLE          |
|  |     | EXISTING FIRE HYDRANT           |
|  |     | EXISTING WATER WELL             |
|  |     | PROPOSED SETBACK                |
|  |     | PROPOSED PROPERTY LINE          |
|  |     | PROPOSED SIDEWALK               |

**BULK REQUIREMENTS - ZONING DISTRICT: RB (RESIDENCE B)**

|                           | REQUIRED  | LOT 1     | LOT 2     | LOT 3     | LOT 4     |
|---------------------------|-----------|-----------|-----------|-----------|-----------|
| MIN. LOT AREA (GROSS)     | 12,000 SF | 13,721 SF | 16,482 SF | 14,238 SF | 20,660 SF |
| MIN. LOT AREA (NET)       | 10,000 SF | 13,721 SF | 15,551 SF | 14,238 SF | 19,857 SF |
| MINIMUM FRONTAGE          | *         | 127.9 FT  | 13.0 FT   | 143.0 FT  | 13.0 FT   |
| MAXIMUM BUILDING COVERAGE | *         | 23.69 %   | 20.65 %   | 22.83 %   | 15.73 %   |
| MIN. FRONT YARD SETBACK   | *         | 40 FT     | 40 FT     | 40 FT     | 49 FT     |
| MIN. REAR YARD SETBACK    | *         | 25 FT     | 35 FT     | 15 FT     | 15 FT     |
| MIN. SIDE YARD SETBACK    | *         | 15 FT     | 15 FT     | 30 FT     | 33 FT     |
| MAX. HEIGHT (FEET)        | 35 FT     | 35 FT     | 35 FT     | 35 FT     | 35 FT     |
| MAX. HEIGHT (STORIES)     | 2 STORIES | 2 STORIES | 2 STORIES | 2 STORIES | 2 STORIES |

\* DETERMINED DURING THE SUBDIVISION PROCESS BY THE PLANNING BOARD  
ACCESS EASEMENT NOTE: ACCESS EASEMENTS ARE REQUIRED FOR THE PRIVATE ROAD.

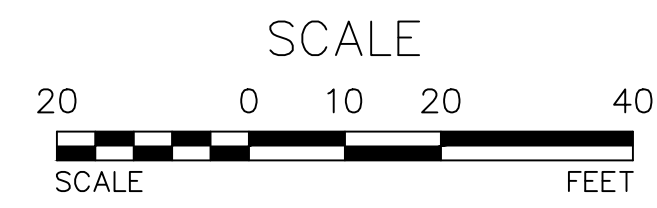


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PROPOSED SUBDIVISION PLAN  
SCALE: 1"=20'



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