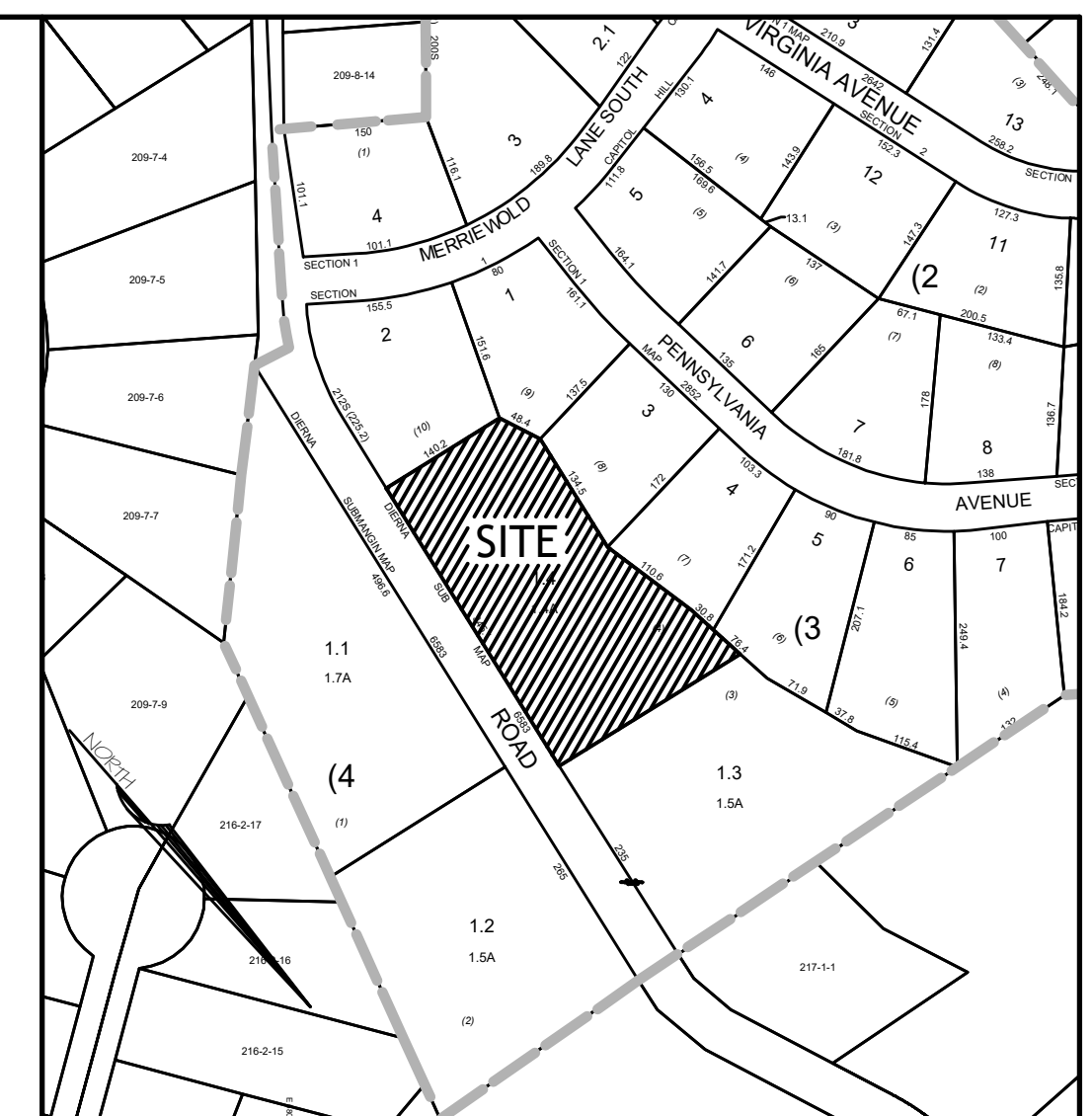
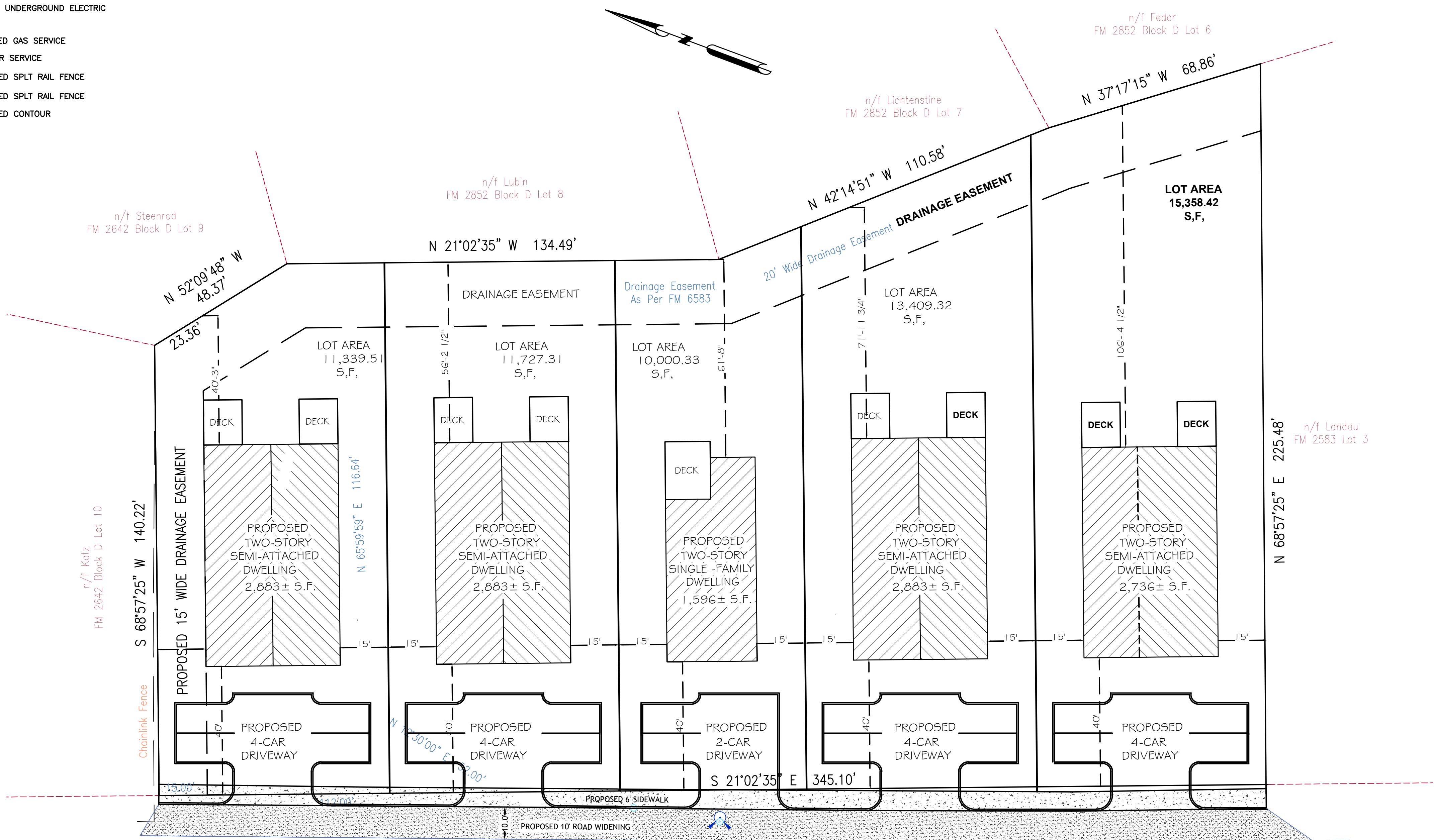


LEGEND

625.0(TC)	DENOTES EXISTING "TOP OF CURB" GRADE		DENOTES EXISTING UTILITY POLE
625.0(DC)	DENOTES EXISTING "DROP CURB" GRADE		DENOTES EXISTING CONCRETE SURFACE
WV	DENOTES EXISTING WATER VALVE	625.0+	DENOTES EXISTING SPOT GRADE
GV	DENOTES EXISTING GAS VALVE	— W —	DENOTES EXISTING WETLANDS LIMIT LINE
WMH	DENOTES EXISTING WATER MANHOLE	— 238 —	DENOTES EXISTING CONTOUR LINE
TMH	DENOTES EXISTING TELEPHONE MANHOLE		DENOTES EXISTING STONE WALL
LP	DENOTES EXISTING LIGHT POLE		DENOTES PROPOSED STONE
CB	DENOTES EXISTING CATCH BASIN	— EC —	DENOTES EXISTING UNDERGROUND ELECTRIC CABLE SERVICE
—	DENOTES EXISTING OVERHEAD WIRES	— G —	DENOTES PROPOSED GAS SERVICE
+217.6	DENOTES EXISTING SPOT GRADE	— 1" WS —	DENOTES 1" WATER SERVICE
	DENOTES TEST PIT	— SRF —	DENOTES PROPOSED SPLT RAIL FENCE
	DENOTES PERCOLATION TEST	+ <217.6±>	DENOTES PROPOSED SPLT RAIL FENCE
		— S14 —	DENOTES PROPOSED CONTOUR



- SITE SPECIFIC NOTES:**
- THIS IS A SUBDIVISION SITE PLAN PREPARED FOR TAX LOT # 210-4-1.4 AS SHOWN ON THE VILLAGE OF SOUTH BLOOMING GROVE TAX MAPS.
 - RECORD OWNER: ELIE MINZ, 58 MILVAL LANE, HIGHLAND MILLS, NEW YORK 10930
 - APPLICANT: ELIE MINZ, 58 MILVAL LANE, HIGHLAND MILLS, NEW YORK 10930
 - SITE ADDRESS: 41 MANGIN ROAD, MONROE, NEW YORK 10950
 - DEED REFERENCE: DEED BOOK 14829 PAGE 1671.
 - FILED MAP NUMBER LOT DIERNA SUBDIVISION MAP 6583.
 - AREA OF PARCEL: 1.4 ± ACRES (60,984± SQUARE-FEET).
 - ZONING DISTRICT: RESIDENCE B DISTRICT - (RB).
 - EXISTING NUMBER OF LOTS: ONE (1).
 - PROPOSED NUMBER OF LOTS: FIVE (5).
 - EXISTING USE: SINGLE-FAMILY RESIDENTIAL.
 - PROPOSED USE: TWO-FAMILY RESIDENTIAL & SINGLE-FAMILY RESIDENTIAL.
 - SANITARY SEWER DISPOSAL: EXISTING MUNICIPAL CENTRAL SEWER SYSTEM.
 - WATER SUPPLY: EXISTING MUNICIPAL WATER SUPPLY SYSTEM.
 - TOPOGRAPHIC DATUM: APPROXIMATE U.S.G.S. (1' CONTOUR INTERVAL)
 - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 259K OF THE GENERAL MUNICIPAL LAW.

BOUNDARY AND TOPOGRAPHIC SURVEY REFERENCE:
 BOUNDARY AND TOPOGRAPHIC REFERENCE INFORMATION SHOWN TAKEN FROM A MAP ENTITLED SURVEY PREPARED FOR 41 MANGIN ROAD, MONROE, NEW YORK 10950 ~ SECTION 210 ~ BLOCK 4 ~ LOT 1.4 PREPARED BY EDWARD T. GANNON, L.S. DATED OCTOBER 5, 2023.

COUNTY CERTIFICATION:
 COUNTY OF ORANGE LOCAL LAW #1 OF 1989.
 I HEREBY CERTIFY THAT THE WATER AND SEWER SYSTEM SHOWN ON THE PLANS WAS DESIGNED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS PROMULGATED BY THE NEW YORK STATE DEPARTMENT OF HEALTH, AND ENVIRONMENTAL CONSERVATION FOR RESIDENTIAL LOTS AS AMENDED FROM TIME TO TIME, AND FURTHER THAT SUCH DESIGN IS BASED ON ACTUAL SOIL AND SITE CONDITIONS FOUND UPON SUCH LOT AT THE DESIGN LOCATION AT THE TIME OF THE DESIGN.

ENDORSEMENTS:

OWNER'S ENDORSEMENT:
 APPROVED FOR FILING WITH THE ORANGE COUNTY CLERK:

OWNER: _____ DATE: _____

PLANNING BOARD ENDORSEMENT:
 APPROVED AS FINAL PLAT BY RESOLUTION OF THE VILLAGE OF SOUTH BLOOMING GROVE PLANNING BOARD:

CHAIRPERSON: _____ DATE: _____

MANGIN ROAD

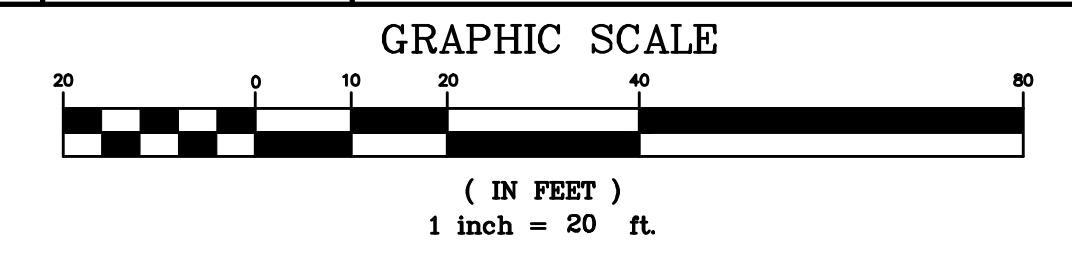
THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF MICHAEL J. CALISE P.E. DEVELOPED FOR THE EXCLUSIVE USE OF MICHAEL J. CALISE, P.E. FOR THIS PROJECT ONLY. USE OF THESE DRAWINGS, CAD FILES AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF MICHAEL J. CALISE, P.E. IS PROHIBITED.

THIS PLAN IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.

OWNER: ELIE MINZ, 58 MILVAL LANE, HIGHLAND MILLS, NEW YORK 10930
 APPLICANT: ELIE MINZ, 58 MILVAL LANE, HIGHLAND MILLS, NEW YORK 10930

REVISIONS:

#	DATE	COMMENTS



UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED N.Y.S. ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. THE CERTIFICATION IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE, IT IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. COPIES OF THIS PLAN NOT HAVING THE EMBOSSED SEAL OF THE N.Y.S. ENGINEER SHALL NOT BE VALID. PLAN PREPARED PURSUANT TO SECTION 7209m OF THE NEW YORK STATE EDUCATION LAW.

MICHAEL J. CALISE, P.E.
 NEW YORK STATE LIC. NO. 074611

PRELIMINARY

SUBDIVISION SITE PLAN
 PREPARED FOR:
 TAX LOTS # 210-4-1.4

41 MANGIN ROAD SUBDIVISION

VILLAGE OF SOUTH BLOOMING GROVE
 TOWN OF BLOOMING GROVE
 ORANGE COUNTY NEW YORK

Michael J. Calise, P.E. & Associates, P.C.
 Civil Engineering & Land Planning Consultants
 41 East Naurauschaun Avenue
 Pearl River, New York 10965
 Phone (845) 629-3743

TAX LOT No.: 210-4-1.4
 TOTAL AREA: 0.96± ACRES (41,873.7± ACRES)
 JOB No.: 2370
 SCALE: 1"=20'
 DATE: 10-05-2023
 SHEET: 1 OF 1